Town of Colchester
Land Use Department
127 Norwich Ave, Suite 105
Colchester, CT 06415
www.colchesterct.gov

Demian Sorrentino, AICP, Planning Director
Stacey Churchill, Land Use Assistant
Isabelle Kisluk, Asst. Planner/ZEO
Daniel Hickey, Wetlands Agent
T: (860) 537-7278

PLANNING & ZONING COMMISSION
REGULAR MEETING
Wednesday, December 6, 2023 – 7:00 PM
Town Hall Meeting Room 1
AGENDA

1. **Call to Order**
2. **Additions or Deletions to the Agenda**
3. **Minutes of Previous Meeting**
   A. Regular Meeting 11/1/23
4. **Public Hearings**
   A. **PZC 2023-013** of Galaxy Development, LLC (Applicant) and Kettle Club, LLC (Owner) – Special Permit and Site Plan Review for proposed multi-tenant building for commercial development including food service with a pick-up window on 0.79± acres located at 131 Linwood Avenue (Assessor's ID 11-00-027-000) Zoning District: Town Center (TC)
5. **Five Minute Session for the Public**
6. **Pending Applications**
   A. **PZC 2023-013** of Galaxy Development, LLC (Applicant) and Kettle Club, LLC (Owner) – Special Permit and Site Plan Review for proposed multi-tenant building for commercial development including food service with a pick-up window on 0.79± acres located at 131 Linwood Avenue (Assessor's ID 11-00-027-000) Zoning District: Town Center (TC)
7. **New Applications**
   A. **PZC 2023-014** of Daniel J. Durrenberger (Applicant/Owner) – Site Plan Review for proposed 40' X 60' (2,400 SF) accessory building at 111 Pine Brook Road (Assessor's ID 4W-09-004-000) that exceeds the size permittable by the Zoning Enforcement Officer pursuant to Section 15.3.1 of the Town of Colchester Land Development (Zoning) Regulations. Zoning District: Rural Use (RU).
8. **Preliminary Reviews**
9. **Old Business**
10. **New Business**
11. **Planning Issues and Discussions**
    A. Draft regulation amendments for compliance with PA21-1, PA21-29, PA21-34, PA21-163, PA22-25 & PA23-142 (PZC 2023-015, Part A).

B. Draft regulation amendments for Affordable Housing Incentive and Manufactured Home Parks (PZC 2023-015, Part B and Part C).

C. Zoning Enforcement Status Report.

12. Correspondence

13. Adjournment

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PLANNING & ZONING COMMISSION
REGULAR MEETING
Wednesday, November 1, 2023 – 7:00 PM
Town Hall Meeting Room 1
MINUTES

Members Present: Vice Chair J. Novak, B. Hayn, M. Noniewicz, S. Smith, M. Kehoegreen
Absent: Chairman J. Mathieu, S. Nadeau
Also Present: I. Kisluk, ZEO, S. Churchill, Land Use Assistant, Mark Reynolds, PE; Stephen Fedus; Public

1. **Call to Order** – J. Novak called the meeting to order at 7:01 PM
2. **Additions or Deletions to the Agenda – N**one
3. **Minutes of Previous Meeting**
   A. Regular Meeting 10/18/23 – Motion by M. Noniewicz to accept the meeting minutes as written. 2nd by B. Hayn. Vote was unanimous with M. Kehoegreen abstaining, motion carried.
4. **Public Hearings**
   A. **PZC2023-012** of Stephen M. Fedus (Applicant) and Stephen M. Fedus, Trustee of the Stephen M. Fedus Trust Agreement Dated August 15, 2001 (Owner) – Special Permit and Site Plan Review for proposed 19-unit multi-family residential development on 8.5± acres located at 203 Amston Road (Assessor's ID 21-00-003-000) Zoning District: Suburban Use (SU) & APOZ – Public Hearing is continued from 10/18/23. I. Kisluk read additional exhibits into the record. J. Novak asked if there was any additional comments from the applicant or testimony from the public. Mark Reynolds, PE submitted a drawing showing the corrected placement of Building 1 in response to comments from staff. The drawing also addresses questions regarding accessibility and slope of the parking area. No other testimony in favor nor opposition was provided. Motion by B. Hayn to close the public hearing. 2nd by B. Noniewicz. Vote was unanimous, hearing is closed.
5. **Five Minute Session for the Public -** None
6. **Pending Applications**
   A. **PZC2023-012** of Stephen M. Fedus (Applicant) and Stephen M. Fedus, Trustee of the Stephen M. Fedus Trust Agreement Dated August 15, 2001 (Owner) – Special Permit and Site Plan Review for proposed 19-unit multi-family residential development on 8.5± acres located at 203 Amston Road (Assessor's ID 21-00-003-000) Zoning District: Suburban Use (SU) & APOZ – I. Kisluk read updated Planning Director report to discuss outstanding comments regarding Building 1 and the photometric plan. Members agreed on a condition for photometric plan verification. Motion by M. Noniewicz to approve application PZC2023-012 of Stephen M. Fedus (Applicant) and Stephen M. Fedus, Trustee of the Stephen M. Fedus Trust Agreement Dated

August 15, 2001 (Owner), Special Permit and associated Site Plan for proposed 19-unit multi-family residential development on 8.5± acres located at 203 Amston Road. The Commission finds that the applicant has adequately demonstrated compliance with applicable sections of the Regulations governing said use, including but not limited to: Section 4.5 – SU District Multi-Family Housing Requirements for properties with municipal water and sewer; Section 8.1.1 – Multi-Family Development; Section 15.4 – Site Plan Class 2; Section 14.8 – General Evaluation Criteria for Special Permits; and Section 9.2.1.F.3 - Evaluation Criteria and Considerations for the APOZ with a condition that applicant shall address items outstanding per Planning Director's Review Comments #3 dated 11/1/23 prior to the Chairman's endorsement of the mylar plans and verification of the photometric plan. 2nd by B. Hayn. Vote was unanimous, motion carried.

7. New Applications

A. PZC2023-013 of Galaxy Development, LLC (Applicant) and Kettle Club, LLC (Owner) – Special Permit and Site Plan Review for proposed multi-tenant building for commercial development including food service with a pick-up window on 0.79± acres located at 131 Linwood Avenue (Assessor's ID 11-00-027-000) Zoning District: Town Center (TC) – Application received by the Commission.

8. Preliminary Reviews – None

9. Old Business – None

10. New Business – None

11. Planning Issues and Discussions

A. Zoning Enforcement Status Report – I. Kisluk provided members with an update on zoning enforcement, including resolved issues and the pending appeal to the ZBA from Niantic Bay Group. She also discussed 493 Westchester Rd needing to file their approval letter on the land records prior to issuance of their CO.

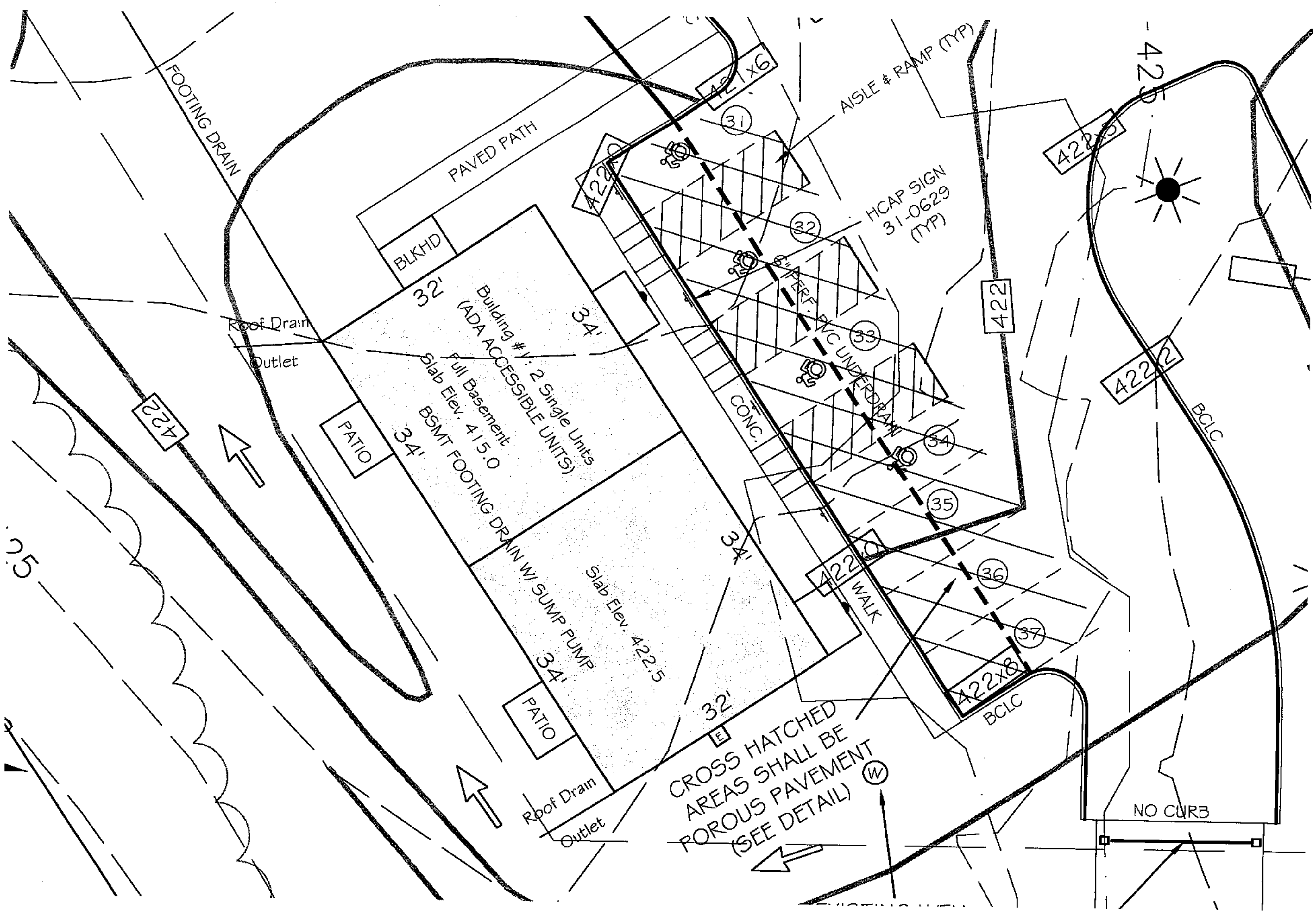
Members briefly discussed their education requirements that are to be completed by the end of the year.

J. Novak asked about the conditions at a property on Chestnut Hill Rd. and the temporary structures that have been put up storing all sorts of things. He said it is visible from the road. Recently an addition was put on the house and members discussed whether a CO should be issued for the addition before the violations are resolved.

12. Correspondence – none

13. Adjournment – Motion by B. Hayn to adjourn. 2nd by M. Kehoegreen. Vote was unanimous, meeting adjourned at 7:32 PM.

Respectfully submitted by: S. Churchill, Land Use Assistant



203 Amston Rd 11/1/2023

RECEIVED
DEC 0 1 2023

P&ZC Application No. PZC 2023-014

PLANNING & ZONING COMMISSION
TOWN OF COLCHESTER, CONNECTICUT

APPLICATION FOR SITE PLAN APPROVAL

This application form, applicable fee(s), five (5) sets of plans, a detailed Statement of Use and all required supporting documentation shall be submitted to the Planning & Zoning Commission Office no later than noon (12:00P) on the Monday before the next regularly scheduled meeting (the first and third Wednesday of the month excepting Holiday periods). Public Hearing is not required but may be held at the discretion of the Commission.

NAME OF APPLICANT: Dan Durrenberger (Please Print)

MAILING ADDRESS: 111 Pine Brook Rd Colchester, CT 06415

EMAIL ADDRESS: _____ TELEPHONE: 860-892-3510

OWNER OF RECORD: SAME (Please Print)

MAILING ADDRESS: _____

STREET ADDRESS OF SUBJECT PROPERTY: _____

ASSESSOR'S MAP 4/9/4 LOT _____ ZONING DISTRICT R

IS THIS PROPERTY WHOLLY OR PARTIALLY LOCATED IN ANY OF THE FOLLOWING (Check all that apply):

____ AQUIFER PROTECTION AREA (APA) ____ AQUIFER PROTECTION ZONE (APZ)

____ HISTORIC DISTRICT (HD) ____ HISTORIC PRESERVATION OVERLAY ZONE (HPOZ)

EXISTING USE(S): RESIDENTIAL

PROPOSED USE(S): ACCESSORY BUILDING

APPLICABLE REGULATION SECTION(S): _____

ENGINEER/SURVEYOR: Mark Reynolds TELEPHONE: 860-516-0033

MAILING ADDRESS: 63 Wormwood Ave Ste. 202 Colchester CT 06415

CONTACT PERSON TO WHOM CORRESPONDENCE AND INQUIRIES SHOULD BE DIRECTED:

NAME: Mark Reynolds (Please Print) (Firm Name, if Applicable)

MAILING ADDRESS: _____

EMAIL ADDRESS: _____ TELEPHONE: _____

11/30/23 — FOR DAN DURRENBERGER

APPLICANT(S) SIGNATURE DATE OWNER(S) SIGNATURE DATE

** IF THE APPLICANT IS NOT THE RECORD OWNER, A SIGNED LETTER OF AUTHORIZATION MUST ACCOMPANY THIS APPLICATION **

FOR OFFICIAL USE ONLY BELOW THIS LINE

DATE APPLICATION SUBMITTED: _____ **P&ZC FEE PAID: $**_____ **CK#** _____

DATE OF RECEIPT BY P&ZC: _____ **PUBLIC HEARING START DATE:** _____

PUBLIC HEARING END DATE: _____ **DATE OF DECISION:** _____

NOTICE OF DECISION PUBLISHED: _____ **ENGINEERING REVIEW FEES PAID:** _____

Town of Colchester, CT

Property Report

Map Block Lot **4W-09/004-000** | PID **3841** | Building # **1** | Section # **1** | Account **P0266800**

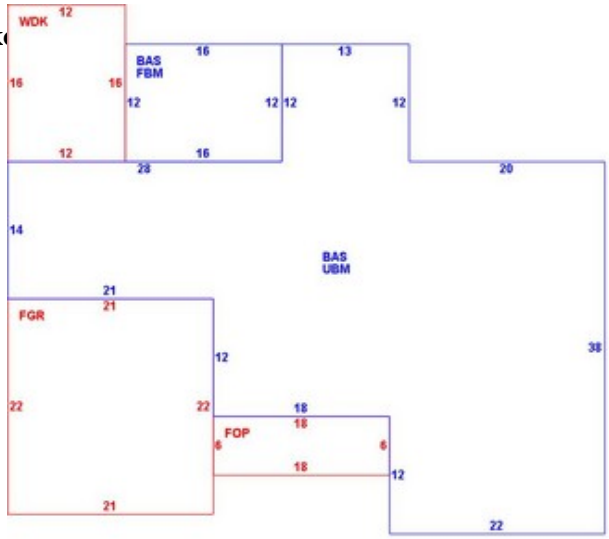
Property Information

Property Location	111 PINE BROOK RD
Owner	DURRENBERGER DANIEL J + LISA A
Co-Owner	
Mailing Address	111 PINE BROOK RD COLCHESTER CT 06415
Land Use	1010 Single Fam
Land Class	R
Zoning Code	RU
Census Tract	

Neighborhood	
Acreage	17.3
Utilities	UNKNOWN
Lot Setting/Desc	UNKNOWN UNKNOWN
Additional Info	

Photo

Sk



Primary Construction Details

Year Built	1977
Stories	1
Building Style	Ranch
Building Use	Residential
Building Condition	
Interior Floors 1	Carpet
Interior Floors 2	Hardwood
Total Rooms	7
Basement Garages	
Occupancy	1.00
Building Grade	

Bedrooms	3 Bedrooms
Full Bathrooms	2
Half Bathrooms	0
Extra Fixtures	0
Bath Style	
Kitchen Style	
Roof Style	Pavilion-Hip
Roof Cover	Asphalt
AC Type	None
Fireplaces	0

Exterior Walls	Vinyl Siding
Exterior Walls 2	NA
Interior Walls	Drywall
Interior Walls 2	NA
Heating Type	Hot Water
Heating Fuel	Oil
Sq. Ft. Basement	
Fin BSMT Quality	
Extra Kitchens	

Report Created On **12/4/2023**

Town of Colchester, CT

Property Report | Map Block Lot **4W-09/004-000** | PID **3841** | Building # **1** | Section # **1** | Account **P0266800**

Valuation Summary

(Assessed value = 70% of Appraised Value)

Item	Appraised	Assessed
Buildings	224800	157400
Extras	1200	800
Improvements		
Outbuildings	6000	4200
Land	82200	57500
Total	314200	219900

Outbuilding and Extra Features

Type	Description
Barn 1ST	480 S.F.
Shed Frame	112 S.F.
Fireplace	1 UNITS

Sub Areas

Subarea Type	Gross Area (sq ft)	Living Area (sq ft)
First Floor	1946	1946
Basement, Finished	192	0
Garage	462	0
Open Porch	108	0
Basement, Unfinished	1754	0
Wood Deck	192	0
Total Area		1946

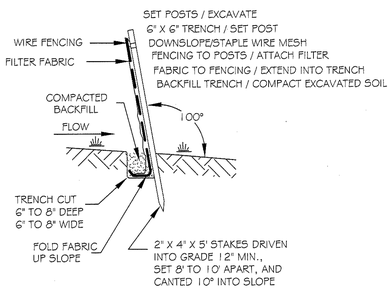
Sales History

Owner of Record	Book/ Page	Sale Date	Sale Price
DURRENBERGER DANIEL J + LISA A	1534/0274	9/5/2023	422000
PELKEY BARBARA MARIE + ROLAND HARMON TTEE	1474/0069	10/18/2021	0
PELKEY ROLAND H	0119/0352	11/15/1979	0

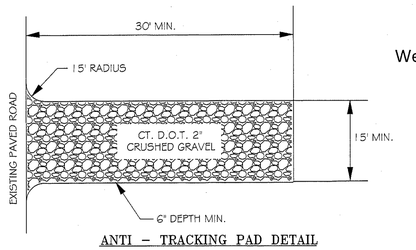
Report Created On **12/4/2023**

LEGEND

- APPROXIMATE PROPERTY LINE
- LIMIT OF WETLANDS
- EXISTING TREE LINE
- LIMIT OF CLEARING / DISTURBANCE
- 382 EXISTING CONTOUR
- 370 PROPOSED CONTOUR
- △ SURVEYOR CONTROL POINT
- 200.9 PROPOSED SPOT ELEVATION
- GRADE TO DRAIN



SILT FENCE DETAIL
(NOT TO SCALE)



ANTI – TRACKING PAD DETAIL
NOT TO SCALE

LOAM, SEED & MULCH ALL DISTURBED AREAS

BENCHMARK TO BE SET IN THE FIELD AT TIME OF CONSTRUCTION.

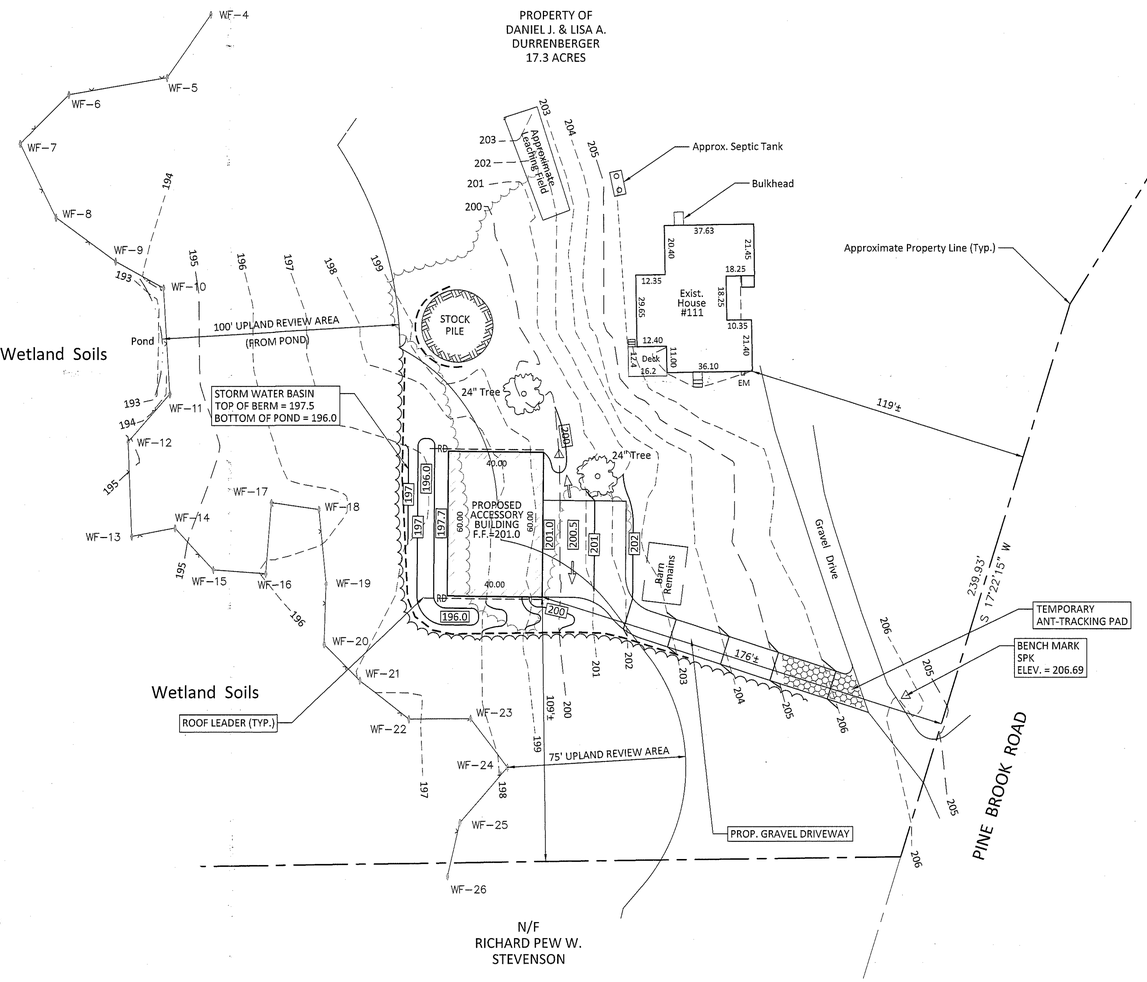
CONTRACTOR TO PRESERVE & PROTECT ALL EXISTING UTILITIES. PRIOR TO THE START OF CONSTRUCTION CONTACT 'CALL BEFORE YOU DIG' 1-800-922-4455

N/F
DOROTHY WHITED

N 89°01'00" E
832.50'

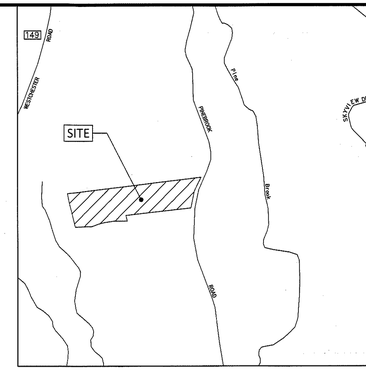
PER MAP REFERENCE #1

PROPERTY OF
DANIEL J. & LISA A.
DURRENBERGER
17.3 ACRES



N/F
RICHARD PEW W.
STEVENSON

Approximate Property Line (Typ.)



LOCATION MAP
SCALE: 1" =1000'

EROSION & SEDIMENT CONTROL NOTES:

1. ALL EROSION & SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED AS DETAILED AND SPECIFIED IN THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL JANUARY 2002 AS AMENDED.
2. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION, PROPERLY MAINTAINED DURING CONSTRUCTION AND REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN PROPERLY STABILIZED. AFTER INSTALLATION OF THE INITIALLY PRESCRIBED MEASURES, ADDITIONAL MEASURES MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS AS ORDERED BY THE TOWN OF COLCHESTER OR ITS DESIGNATED AGENT(S).
3. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED. THE EXPOSURE SHOULD BE THE SHORTEST PERIOD OF TIME. WHEN NECESSARY TEMPORARY VEGETATION AND OR MULCHING SHOULD BE USED TO PROTECT EXPOSED AREAS. FINAL VEGETATION SHOULD BE INSTALLED AS SOON AS POSSIBLE. WHEREVER FEASIBLE NATURAL VEGETATION SHOULD BE RETAINED AND PROTECTED.
4. THE STOCKPILING OF BUILDING MATERIALS SHALL BE WITHIN THE AREA OF DISTURBANCE.
5. SEEDBED PREPARATION: FINE GRADE AND RAKE SOIL TO REMOVE ANY STONES LARGER THAN 2 INCHES. INSTALL ANY NEEDED EROSION CONTROL DEVICES SUCH AS SURFACE WATER DIVERSIONS. APPLY LIMESTONE AT A RATE OF TWO TONS PER ACRE OR 90 POUNDS PER 1000 SQUARE FEET. FERTILIZE WITH 10-10-10 AT A RATE OF 11 POUNDS PER 100 SQUARE FEET. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF FOUR INCHES.
6. SEED APPLICATION: APPLY SHADE TOLERANT GRASS MIXTURE BY HAND, CYCLONE SEEDER OR HYDROSEEDER. SEEDING SHALL BE DONE BETWEEN APRIL 1 AND JUNE 1 OR BETWEEN AUGUST 15 AND SEPTEMBER 1. IF SEEDING CANNOT BE DONE DURING THESE TIMES, REPEAT MULCHING PROCEDURE UNTIL SEED CAN BE DONE.
7. ESTABLISH PERMANENT VEGETATION USING A SEED MIXTURE OF:
   KENTUCKY BLUEGRASS 20 LBS/ACRE
   CREEPING RED FESCUE 20 LBS/ACRE
   PERENNIAL RYE GRASS 5 LBS/ACRE
   TOTAL 45 LBS/ACRE
   THE RECOMMENDED DATES FOR SEEDING ARE APRIL 1 THROUGH JUNE 1 AND AUGUST 15 THROUGH SEPTEMBER 1.
8. MULCHING: IMMEDIATELY FOLLOWING SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH SHALL BE SPREAD BY HAND OR WITH A MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE APPROXIMATELY TWO TO THREE INCHES.

GRAPHIC SCALE
30' 0' 30' 60'
(IN FEET)
1 inch = 30 ft.

RECEIVED
DEC 01 2023

MAP REFERENCES:

1. "FINAL SUBDIVISION LAYOUT PINE BROOK RD. PROPERTY OF CLARK REALTY ASSOCIATES, INC. TOWN OF COLCHESTER" SCALE: 1"=100' DATE: NOVEMBER, 1973 REVISED: FEB. 1974 BY ALPHONSE E. SAVARESE P.E. & L.S.

MAP STANDARD NOTES:

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.
2. THE TYPE OF SURVEY IS AN IMPROVEMENT LOCATION SURVEY.
   BOUNDARY DETERMINATION CATEGORY: RESURVEY.
   HORIZONTAL ACCURACY CLASS: D
3. TOPOGRAPHIC FEATURES SHOWN HEREON WERE PREPARED IN ACCORDANCE WITH CLASS T-2. ELEVATIONS AND CONTOURS SHOWN HEREON HAVE BEEN DERIVED FROM FIELD MEASUREMENTS AND ARE BASED ON AN ASSUMED DATUM.
4. THE INTENDED PURPOSE OF THIS MAP/SURVEY IS TO DEPICT THE PROPOSED BARN LOCATION

I have delineated state of Connecticut wetlands and watercourses present on the subject site and have reviewed this plan and it is my opinion that the limits of the wetlands and watercourses depicted hereon are representative of those delineated in the field.

IAN COLE

Certification is not valid without live signature

OWNER/APPLICANT:
DANIEL J. & LISA A. DURRENBERGER

AREA OF DISTURBANCE WITHIN THE UPLAND REVIEW AREA = 5,680 S.F.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS DRAWING IS NOT VALID UNLESS IT BEARS AN ORIGINAL INK SIGNATURE AND EMBOSSED SEAL

ROBERT W. HELLSTROM, L.S. #13626

ROB HELLSTROM LAND SURVEYING LLC
32 MAIN STREET
HEBRON, CONNECTICUT
(860)-228-9853

Mailing Address:
P.O. BOX 378
HEBRON, CT 06248

www.rhlsct.com
Email: hellstromsurveying@yahoo.com

Designed By: MAR
Drawn By: SAM
Checked By: MAR
CAD File: 23-266_SITEPLAN

STATE OF CONNECTICUT · ROBERT W. HELLSTROM · 13626 · LICENSED PROFESSIONAL ENGINEER

Rev.	Date	Revision	By

Drawing date: 11/09/2023
Drawing Scale: 1" = 30'

SITE DEVELOPMENT PLAN

PROJECT TITLE: PROPOSED ACCESSORY BUILDING
111 PINE BROOK ROAD COLCHESTER, CT

PREPARED FOR: DANIEL DURRENBERGER

CIVIL ENGINEERING CONSULTANTS
63 NORWICH AVENUE
COLCHESTER, CT
(860) 516-0033
RES *Reynolds Engineering Services, LLC*

Drawing #: 1 OF 1

Job #: 23-266

P&ZC Application No. PZC2023-013

RECEIVED
OCT 30 2023

PLANNING & ZONING COMMISSION
TOWN OF COLCHESTER, CONNECTICUT

APPLICATION FOR SITE PLAN APPROVAL

This application form, applicable fee(s), five (5) sets of plans, a detailed Statement of Use and all required supporting documentation shall be submitted to the Planning & Zoning Commission Office no later than noon (12:00P) on the Monday before the next regularly scheduled meeting (the first and third Wednesday of the month excepting Holiday periods). Public Hearing is not required but may be held at the discretion of the Commission.

NAME OF APPLICANT: Galaxy Development, LLC
(Please Print)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

EMAIL ADDRESS: mike@galaxydevelopment.net TELEPHONE: (508) 721-0005

OWNER OF RECORD: Kettle Club, LLC
(Please Print)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

STREET ADDRESS OF SUBJECT PROPERTY: 131 Linwood Ave, Colchester, CT

ASSESSOR'S MAP 11 LOT 00-027-000 ZONING DISTRICT TC

IS THIS PROPERTY WHOLLY OR PARTIALLY LOCATED IN ANY OF THE FOLLOWING (Check all that apply):

____ AQUIFER PROTECTION AREA (APA) ____ AQUIFER PROTECTION ZONE (APZ)

____ HISTORIC DISTRICT (HD) ____ HISTORIC PRESERVATION OVERLAY ZONE (HPOZ)

EXISTING USE(S): Vacant Residential

PROPOSED USE(S): Commercial - Multi-tenant building - food service with pickup window, pers. service

APPLICABLE REGULATION SECTION(S): 5.0

ENGINEER/SURVEYOR: MidPoint Engineering + Consulting, LLC TELEPHONE: (508) 721-1900

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

CONTACT PERSON TO WHOM CORRESPONDENCE AND INQUIRIES SHOULD BE DIRECTED:

NAME: Patrick Doherty (Please Print) MidPoint Engineering + Consulting, LLC (Firm Name, if Applicable)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

EMAIL ADDRESS: pdoherty@midpointengineering.com TELEPHONE: 508 721-1900

APPLICANT(S) SIGNATURE 10/18/23 DATE

OWNER(S) SIGNATURE 10/18/23 DATE

** IF THE APPLICANT IS NOT THE RECORD OWNER, A SIGNED LETTER OF AUTHORIZATION MUST ACCOMPANY THIS APPLICATION **

FOR OFFICIAL USE ONLY BELOW THIS LINE

DATE APPLICATION SUBMITTED: 10/30/23 P&ZC FEE PAID: $500 - CK# 1040

DATE OF RECEIPT BY P&ZC: 11/1/23 PUBLIC HEARING START DATE: _____

PUBLIC HEARING END DATE: _____ DATE OF DECISION: _____

NOTICE OF DECISION PUBLISHED: _____ ENGINEERING REVIEW FEES PAID: $540 CK 1041

P&ZC Application No: PZC2023-013

RECEIVED
OCT 30 2023
SC

PLANNING & ZONING COMMISSION
TOWN OF COLCHESTER, CONNECTICUT

APPLICATION FOR SPECIAL PERMIT APPROVAL

This application form, applicable fee(s), five (5) sets of plans and all required supporting documentation shall be submitted to the Planning & Zoning Commission Office no later than noon (12:00P) on the Monday before the next regularly scheduled meeting (the first and third Wednesday of the month excepting Holiday periods). The Applicant shall submit a copy of the Assessor's Map showing all properties and zoning districts within 500 feet of the subject property and a list of the names and addresses of all owners within 500 feet of the subject property. Public Hearing is Required.

NAME OF APPLICANT: Galaxy Development, LLC
(Please Print)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

EMAIL ADDRESS: mike@galaxydevelopment.net TELEPHONE: (508) 721-0005

OWNER OF RECORD: Kettle Club, LLC
(Please Print)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

STREET ADDRESS OF SUBJECT PROPERTY: 131 Linwood Avenue, Colchester, CT

ASSESSOR'S MAP 11 LOT 00-027-000 ZONING DISTRICT TC

IS THIS PROPERTY WHOLLY OR PARTIALLY LOCATED IN ANY OF THE FOLLOWING (Check all that apply):

____ AQUIFER PROTECTION AREA (APA) ____ AQUIFER PROTECTION ZONE (APZ)

____ HISTORIC DISTRICT (HD) ____ HISTORIC PRESERVATION OVERLAY ZONE (HPOZ)

EXISTING USE(S): Vacant Residential

PROPOSED USE(S): Commercial - Food Service with Pickup Window

APPLICABLE REGULATION SECTION(S): 5.3.2.3

ENGINEER/SURVEYOR: MidPoint Engineering & Consulting TELEPHONE: (508) 721-1900

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

CONTACT PERSON TO WHOM CORRESPONDENCE AND INQUIRIES SHOULD BE DIRECTED:

NAME: Patrick Doherty - MidPoint Engineering + Consulting, LLC
(Please Print) (Firm Name, if Applicable)

MAILING ADDRESS: 37 Sutton Road, Webster, MA 01570

EMAIL ADDRESS: pdoherty@midpointengineering.com TELEPHONE: (508) 721-1900

10/18/23
APPLICANT(S) SIGNATURE DATE

10/18/23
OWNER(S) SIGNATURE DATE

** IF THE APPLICANT IS NOT THE RECORD OWNER, A SIGNED LETTER OF AUTHORIZATION MUST ACCOMPANY THIS APPLICATION **

FOR OFFICIAL USE ONLY BELOW THIS LINE

DATE APPLICATION SUBMITTED: 10/30/23 **P&ZC FEE PAID: $** 560. **CK#** 1040 SC

DATE OF RECEIPT BY P&ZC: 11/1/23 **PUBLIC HEARING START DATE:** _____

PUBLIC HEARING END DATE: _____ **DATE OF DECISION:** _____

NOTICE OF DECISION PUBLISHED: _____ **ENGINEERING REVIEW FEES PAID:** $540 CK# 1041 SC

MIDPOINT
ENGINEERING + CONSULTING

826 Southbridge Street, Suite 120 - Auburn, MA 508.721.1900

October 30, 2023

Town of Colchester
Planning & Zoning Commission
127 Norwich Ave
Colchester, CT 06415

RE: Site Plan and Special Permit Application – 131 Linwood Avenue

Dear Members of the Commission,

MidPoint Engineering + Construction, LLC (MidPoint), on behalf of its Client, Galaxy Development, LLC, is pleased to submit this application for Special Permit and Site Plan Review associated with development of a parcel of land located at 131 Linwood Aveune in Colchester, CT. The Applicant seeks remove existing structures, pavement and vegetation and construct a new 5,100 square foot multi-tenant commercial use building on the 1.10 acre property. Parking areas with capacity of 48 vehicles are also proposed along with a service / shipping receiving area and new utility connections, stormwater management system and landscaping. The proposed development is located in the TC zoning district which allows a variety of commercial uses. One proposed use in the building includes a food service with pick up window which is currently allowed with special permit use.

The site is bounded by Linwood Ave to the north, the Keystone shoppes shopping center to the west and south and by a commercial property containing United Bank to the east. Access to the property will be through the Keystone Shoppes shopping center. The existing curb cut onto Linwood Ave will be closed. Utility services including Gas, Sanitary Sewer underground telecommunications and electricity will come from existing infrastructure in Linwood Avenue. Water service will connect to the infrastructure in the shopping center. Wetland resource areas are located more than 100 feet from project disturbances.

The site has been designed to comply with the Town of Colchester regulations. The building and site improvements shown meet required setbacks in the Zoning Ordinance. Stormwater generated from the site will be managed through a modern system that fully complies with the Connecticut Stormwater Quality Manual. The system will utilize stormwater Best Management Practices (BMPs) to control peak rates of runoff and improve stormwater quality by removing total suspended solids prior to discharge. Stormwater calculations are based upon NOAA Atlas 14 point precipitation frequency estimates.

Enclosed please find the following:

- Site Plan & Special Permit Application
- Site Plans dated October 12, 2023
- Stormwater Management report dated October 12, 2023
- Application fees

We respectfully request to be placed on the next available agenda of the Town of Colchester Planning and Zoning Commission to review this application. Should you have any questions or require any additional information please contact me at (508) 721-1900 or via email at pdoherty@midpointengineering.com.

Sincerely,

Midpoint Engineering + Consulting, LLC

Patrick P. Doherty, PE, LEED AP
Principal

Stormwater Management Report

Definitive Site Plan

131 Linwood Ave
Colchester, CT 01570

Prepared for: **Galaxy Development, LLC**
37 Sutton Road – Suite 1
Webster, MA 01570

Prepared by:

MIDPOINT
ENGINEERING + CONSULTING
37 Sutton Road
Webster, MA 01570
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October 12, 2023

Table of Contents

List of Figures

List of Tables

Project Summary

The project includes construction of a new multi-tenant commercial building on a 1.1 acre lot located at 131 Linwood Avenue in Colchester, CT. The property is located in the Town Center zoning district and will access Linwood avenue thru an existing shopping center known as Keystone Shoppes. No direct access to Linwood Avenue is proposed. Utilities for the project including sanitary sewer, electric and telecom will be connected to existing infrastructure within Linwood Avenue. Water will be provided from the existing water main in Keystone Shoppes.
Stormwater will be managed on-site by collection of the runoff in deep-sump hooded catch basins that convey flow to an underground chamber infiltration basin.

The project site does not contain any Bordering Vegetated Wetlands (BVW) systems or other resource areas. The site does not contain any areas within flood zone or habitat for rare or endangered species.

The site stormwater management system has been designed to meet requirements of the Connecticut Stormwater quality manual. Calculations utilize NOAA Atlas 14 rainfall depths as directed in the manual. The stormwater management system will meet the objectives of the Regulations by inclusion of stormwater Best Management Practices (BMP's) such as source reduction, deep sump hooded catch basins, proprietary water quality units and an underground recharge chamber system with isolator row. These BMP's will reduce total suspended solids from stormwater discharges and approximate annual groundwater recharge. Additionally the BMP's will attenuate stormwater discharge so that there will be no increase in peak discharge rates between the pre- and post-development conditions. Details of the proposed stormwater management system can be found in the following sections of the report.

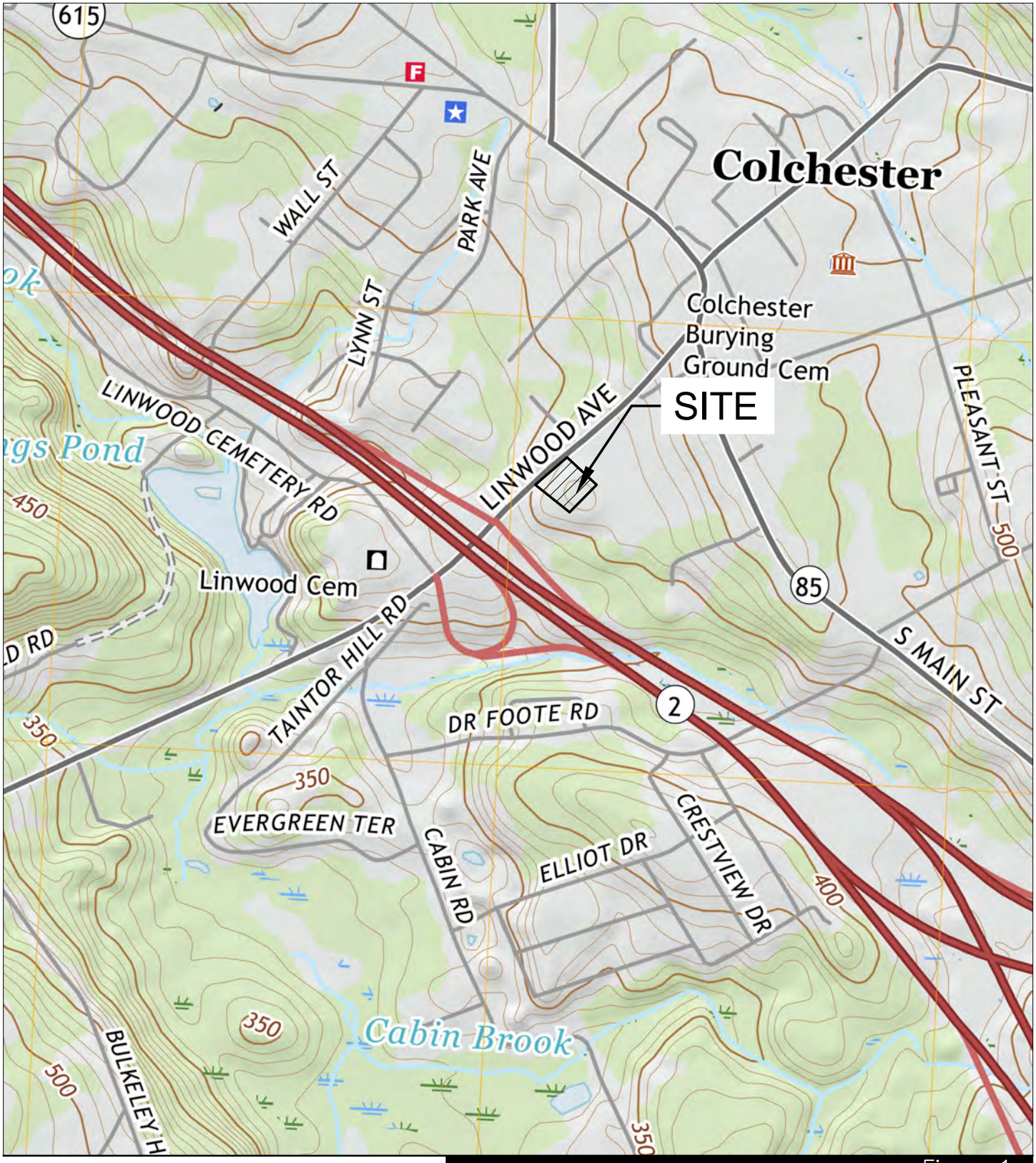


Figure 1

0 500 1000 Feet

Site Location Map
131 Linwood Ave
Colchester, CT

MIDPOINT
ENGINEERING + CONSULTING

37 SUTTON ROAD
WEBSTER, MA 01570
508 721-1900
pdoherty@midpointengineering.com

Existing Conditions

Summary

The Project Site is located at 131 Linwood Avenue in Colchester, CT. The property line between 131 Linwood Avenue and 179 Linwood Avenue will be adjusted to create a 1.1 acre parcel. The Site is bounded by Linwood Avenue to the North; A commercial property containing a bank to the east; and the Keystone Shoppes shopping center to the south and west. The site is vacant. The former use of the property was residential. The single-family home that occupied the site has been razed. The site rises in elevation from Linwood Avenue to a high point near the southerly property line.

The project site is not located within an area designated as Priority or Estimated Habitat of Rare Species. The project is located more than 100 feet to the nearest wetland resource area and does not contain areas designated as flood plain. Based upon a review of the NRCS Soil maps, soils located on site are classified as Hinkley Loamy Sand (Hydrologic Group A).

Hydrologic Information

For the existing conditions hydrologic analysis, the site was divided into 2 drainage subareas areas that contribute flow off site where peak discharge rate was evaluated (see Figure 2).

Drainage Area EX1 – Consists of areas of the site that flow in a westerly and southerly direction to 179 Linwood Avenue

Drainage Area EX2 – Consists of northern areas of the site that flow in northerly direction to Linwood Avenue

Table 1 summarizes the key hydrologic parameters for each drainage area used in the existing conditions analysis.

Table 1
Existing Conditions Hydrologic Data

(Drainage Area #)	Discharge Location	Design Point	Impervious Area (acres)	Area (acres)	Curve Number	Time of Concentration (min)
EX1	*179 Linwood Ave*	*DP1*	*0.00*	*0.34*	*68*	*10.1*
EX2	*Linwood Ave*	*DP1*	*0.08*	*0.94*	*71*	*11.0*

Proposed Conditions

Summary

The Project Site is located at 131 Linwood Avenue in Colchester, CT. The property line between 131 Linwood Avenue and 179 Linwood Avenue will be adjusted to create a 1.1 acre parcel. The Site is located in the TC zoning district which allows a variety of commercial uses. The Applicant proposes to construct a 5,100 +/- square foot multi-tenant building with food service and personal service use. The building will be constructed with a drive-up pick-up window. Other site improvements include modification of an existing retaining wall, construction of a new parking area with capacity of 48 vehicles, utilities and landscaped areas.

Impervious areas of the site under proposed conditions consist of roof area, parking and service areas, concrete sidewalks, gathering areas and utility pads. As required in the zoning bylaw, more than 25% of the parking area will be constructed with pervious compacted gravel. The total impervious surface coverage will be approximately 0.68 acres or 62% percent of the site. An analysis has been performed to confirm that post development peak stormwater runoff rates will not exceed predevelopment rates due to this increase in impervious coverage. Additionally, recharge to ground water will approximate pre-development conditions by recharging parking lot and roof runoff.

Under proposed conditions, storm water runoff will be renovated through use of Stormwater Best Management Practices (BMPs), pretreatment devices, and infiltration practices. Source control will include covering dumpsters and regular sweeping of paved surfaces. Pretreatment BMP's include deep sump hooded catch basins and proprietary stormwater treatment devices. Infiltration devices include subsurface chamber systems.

The proprietary stormwater quality units proposed are "Barracuda" hydrodynamic separator units manufactured by Baysavers Technologies which have been certified by NJCAT to provide 50 percent TSS removal rate at the published water quality flow rates.

Details of the stormwater water management system features are as follows:

Water Quantity and Quality Control

Site Layout

The site has been designed to minimize impacts by including pervious paved areas.

Source Control

A comprehensive source control program will be implemented at the site, which includes regular pavement sweeping, catch basin cleaning, and maintenance of service and lawn areas. Trash will be managed with covered dumpsters in a masonry enclosure.

Snow Management

Snow storage areas are shown on the project site plans. As much as possible snow will be allowed to melt toward pavement where debris and sand may be deposited and swept up for disposal and snow melt will enter the stormwater management system where it will receive proper treatment.

Spill Prevention

Spill prevention is achieved with the proper storage and handling of hazardous materials. During construction, this is addressed in the Stormwater Pollution Prevention Plan (SWPPP) for Construction Activities to be prepared and implemented by the Site Contractor.

Catch Basins with Sumps and Oil/debris Traps

Catch basins at the site are to be constructed with sumps (minimum 4-feet) and oil/debris traps to prevent the discharge of sediments and floating contaminants. Catch basins will be inspected four times per year and cleaned when deposits reach a depth of two feet.

Barracuda Water Quality Units

Proprietary hydrodynamic particle separator water quality units have oil/debris traps to prevent the discharge of sediments and floating contaminants. Units will be inspected four times per year and cleaned when deposits reach a depth of twenty (20) inches.

Subsurface Chamber Detention Basins

An underground stormwater detention system will control post development peak runoff rates by utilizing an outlet control device. This system will incorporate an "isolator row" wrapped in geotextile filter fabric to renovate and remove TSS prior to discharge.

Hydrologic Information

For the proposed conditions, hydrologic analysis, the site was divided into six (6) drainage areas (see Figure 3). These areas discharge to the design point where peak discharge rate were evaluated for both existing and proposed conditions.

Drainage Subarea PR1– Consists of areas of the parking lot on the west side of the building.

Drainage Subarea PR2A– Consists of the roof area of the building.

Drainage Subarea PR2B– Consists of areas of the loading / service area on the west side of the building.

Table 2 summarizes the key hydrologic parameters for each drainage area used in the proposed conditions analyses.

Table 2
Proposed Conditions Hydrologic Data

Drainage Area #	Treatment BMP	Design Point	Impervious Area (Acres)	Total Area (acres)	Curve Number	Time of Concentration (min)
DA PR1	*Infiltration (UG 1)*	*DP1*	*.01*	*.15*	*44*	*5.0*
DA PR2A	*N/A roof area only*	*DP1*	*0.66*	*0.92*	*86*	*5.0*
DA PR2	*Barracuda WQU, Isolator Row (UG 3)*	*DP1*	*0.00*	*0.20*	*39*	*5.0*

The site complies fully with the total suspended solids removal requirements of the Connecticut Stormwater Manual and EPA general permit. The calculated TSS removal rates for discharges from the site are shown on the Worksheets included in Appendix E.

Analysis Summary

Hydrologic Analysis

The rainfall-runoff response of the Site under existing and proposed conditions was evaluated for storm events with recurrence intervals of 2, 10, and 100-years. Rainfall depths used for this analysis were based on NOAA ATLAS 14, Volume 10 Version 3; they were 3.4, 5.2, and 7.9-inches respectively. Runoff coefficients for the pre- and post-development conditions, as previously shown in Tables 1 and 2 respectively, were determined using NRCS Technical Release 55 (TR-55) methodology as provided in HydroCAD.

Drainage areas used in the analyses were described in previous sections and shown on Figures 2 and 3. The HydroCAD model is based on the NRCS Technical Release 20 (TR-20) Model for Project Formulation Hydrology. Detailed printouts of the HydroCAD analyses are included in Appendix D. Table 3 presents a summary of the existing and proposed conditions peak discharge rates.

Table 3
Peak Discharge Rates (cfs*)

Design Point	2-year	10-year	100-year
Design Point DP1:			
Existing	1.1	2.8	5.6
Proposed	0.4	2.7	5.7

* Expressed in cubic feet per second

The results of the analysis indicate that there is no overall increase in peak discharge rates from that site during the 2-yr and 10-yr storm events. A de minimis increase of 0.1 cfs is projected to occur during a 100-yr storm event which will not affect downstream properties.

Hydraulic Analysis

The closed drainage system was designed for the 10-year storm event.

Drainage pipes were sized using Manning's Equation for full-flow capacity and the Rational Method. Pipe sizing calculations are included in Appendix E of this report.

Appendix F: Erosion and Sedimentation Control Measures

Erosion and Sedimentation Control Measures

The following erosion and sedimentation controls are for use during the earthwork and construction phases of the project. The following controls are provided as recommendations for the site contractor and do not constitute or replace the final Stormwater Pollution Prevention Plan that must be fully implemented by the Contractor and owner in Compliance with the Connecticut General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities.

Perimeter Controls

Compost Filter Socks will be placed to trap sediment transported by runoff before it reaches the drainage system or leaves the construction site. Filter socks will be set at on the existing ground and staked at 10 feet on center.

Catch Basin Protection

Newly constructed and existing catch basins will be protected with silt sacks throughout construction.

Gravel and Construction Entrance/Exit

A temporary crushed-stone construction entrance/exit will be constructed. A cross slope will be placed in the entrance to direct runoff to a protected catch basin inlet or settling area. If deemed necessary after construction begins, a wash pad may be included to wash off vehicle wheels before leaving the project site.

Diversion Channels

Diversion channels will be used to collect runoff from construction areas and discharge to either sedimentation basins or protected catch basin inlets.

Temporary Sediment Basins

Temporary sediment basins will be designed either as excavations or bermed stormwater detention structures (depending on grading) that will retain runoff for a sufficient period of time to allow suspended soil particles to settle out prior to discharge. These temporary basins will be located based on construction needs as determined by the contractor and outlet devices will be designed to control velocity and sediment. Points of discharge from sediment basins will be stabilized to minimize erosion.

Vegetative Slope Stabilization

Stabilization of open soil surfaces will be implemented within 14 days after grading or construction activities have temporarily or permanently ceased, unless there is sufficient snow cover to prohibit implementation. Vegetative slope stabilization will be used to minimize erosion on slopes of 3:1 or flatter. Annual grasses, such as annual rye, will be used to ensure rapid germination and production of root mass. Permanent stabilization will be completed with the planting of perennial grasses or legumes. Establishment of temporary and permanent vegetative cover may be established by hydro-seeding or sodding. A suitable topsoil, good seedbed preparation, and adequate lime, fertilizer and water will be provided for effective establishment of these vegetative stabilization methods. Mulch will also be used after permanent seeding to protect soil from the impact of falling rain and to increase the capacity of the soil to absorb water.

Maintenance

- The contractor or subcontractor will be responsible for implementing each control shown on the Sedimentation and Erosion Control Plan. The contractor must sign a copy of a certification to verify that a plan has been prepared and that permit regulations are understood.

- The on-site contractor will inspect all sediment and erosion control structures periodically and after each rainfall event. Records of the inspections will be prepared and maintained on-site by the contractor.

- Silt shall be removed from behind barriers if greater than 6-inches deep or as needed.

- Damaged or deteriorated items will be repaired immediately after identification.

- Sediment that is collected in structures shall be disposed of properly and covered if stored on-site.

- Erosion control structures shall remain in place until all disturbed earth has been securely stabilized. After removal of structures, disturbed areas shall be regraded and stabilized as necessary.

The sedimentation and erosion control plan is included in project plan set; a reduced version and Erosion Control Maintenance checklist is included here for quick reference.

Construction Best Management Practices - Maintenance/Evaluation Checklist

131 Linwood Ave, Colchester, CT

Construction Best Management Practices - Maintenance Evaluation Checklist

Best Management Practice	Inspection Frequency	Date Inspected	Inspector	Minimum Maintenance and key items to check	Cleaning/Repair Needed Y/N Describe	Date of Cleaning/Repair	Performed by:
Gravel Construction Entrance	Once Per Week						
Catch Basin Protection	Once Per Week or after rain event						
Diversion Channels (if applicable)	Once Per Week or after rain event						
Compost Filter Sock	Once Per Week or after rain event						
Vegetated Slope Stabilization	Once Per Week or after rain event						

Appendix G: Long Term Stormwater Operation and Maintenance Measures

Long Term Stormwater Operation and Maintenance Plan

BMP's Ownership

The OWNERS of the BMP's shall be the person, persons, trust, corporation, etc., or their successors who have title to the land on which the BMP is located. It is anticipated that all BMP's will be owned and maintained by Kettle Club, LLC, until the title of land upon which they are located is transferred. At that time, the purchaser of the property will assume all responsibilities set forth within this document.

Operation and Maintenance Responsibilities:

The party or parties responsible for the funding, operation and maintenance of the BMP's shall be the OWNER or their designees. BMP's each have specific maintenance requirements to ensure long-term effectiveness. These stormwater management systems will be operated, inspected and maintained on a regular basis **by a qualified professional with expertise in inspecting drainage system components**. All of the stormwater BMP's shall be kept in good working order at all times.

Approximate estimated annual maintenance costs for the site are:

Street Sweeping - $2,000
Deep sump hooded catch basins - $1,300
Subsurface Infiltration Systems - $500

Total Estimated Annual maintenance Cost - $3,800.00

Description of site BMPs with maintenance requirements

Pavement Systems

Standard Asphalt Pavement

- Sweep or vacuum standard asphalt pavement areas at least four times per year with a commercial cleaning unit and properly dispose of removed material.
- Recommended sweeping schedule:
    - Oct/Nov
    - Feb/Mar
    - Apr/May
    - Aug/Sep
    - More frequent sweeping of paved surfaces will result in less accumulation in catch basins, less cleaning of subsurface structures, and less disposal costs.
- Check loading docks and dumpster areas frequently for spillage and/or pavement staining and clean as necessary.

- More frequent sweeping of paved surfaces will result in less accumulation in catch basins, less cleaning of subsurface structures, and less disposal costs.
- Check loading docks and dumpster areas frequently for spillage and/or pavement staining and clean as necessary.

Structural Stormwater Management Devices

Catch Basins

- All catch basins shall be inspected a minimum of four times per year.
- Sediment (if more than 24 inches deep) and/or floatable pollutants shall be pumped from the basin and disposed of at an approved offsite facility in accordance with all applicable regulations.
- Any structural damage or other indication of malfunction will be reported to the site manager and repaired as necessary
- During colder periods, the catch basin grates must be kept free of snow and ice.
- During warmer periods, the catch basin grates must be kept free of leaves, litter, sand, and debris.

"Barracuda" Proprietary Water Quality Units

- All water quality units shall be inspected a minimum of four times per year.
- Sediment (if more than twenty inches deep) and/or floatable pollutants shall be pumped from the structure and disposed of at an approved offsite facility in accordance with all applicable regulations.
- Any structural damage or other indication of malfunction will be reported to the site manager and repaired as necessary

Subsurface Recharge Chamber System

- The subsurface infiltration systems will be inspected at least twice each year by removing the manhole/access port covers and determining the thickness of sediment that has accumulated.
- If sediment is more than three inches deep, it must be suspended via flushing with clean water and removed using a vactor truck.
- Manufacturer's specifications and instructions for cleaning the sediment removal row is provided as an attachment to this section.
- System will be observed after rainfalls to see if it is properly draining.

Stormwater Outfalls

- Inspect outfall locations monthly for the first three months after construction to ensure proper functioning and correct any areas that have settled or experienced washouts.
- Inspect outfalls annually after initial three month period.
- Annual inspections should be supplemented after large storms, when washouts may occur.
- Maintain vegetation around outfalls to prevent blockages at the outfall.
- Maintain rip rap pad below each outfall and replace any washouts.
- Remove and dispose of any trash or debris at the outfall.

Vegetated Stormwater Management Devices

Vegetated Areas Maintenance

Although not a structural component of the drainage system, the maintenance of vegetated areas may affect the functioning of stormwater management practices. This includes the health/density of vegetative cover and activities such as the application and disposal of lawn and garden care products, disposal of leaves and yard trimmings.

- Inspect planted areas on a semi-annual basis and remove any litter.
- Maintain planted areas adjacent to pavement to prevent soil washout.
- Immediately clean any soil deposited on pavement.
- Re-seed bare areas; install appropriate erosion control measures when native soil is exposed or erosion channels are forming.
- Plant alternative mixture of grass species in the event of unsuccessful establishment.
- The grass vegetation should not be cut to a height less than four inches.
- Pesticide/Herbicide Usage – No pesticides are to be used unless a single spot treatment is required for a specific control application.
- Fertilizer usage should be avoided. If deemed necessary, slow release fertilizer should be used. Fertilizer may be used to begin the establishment of vegetation in bare or damaged areas, but should not be applied on a regular basis unless necessary.

- The Long-Term BMP Maintenance/Evaluation Map and Checklist is attached.

131 Linwood Ave, Colchester, CT

Long Term Best Management Practices - Maintenance/Evaluation Checklist

Best Management Practice	Inspection Frequency	Date Inspected	Inspector	Minimum Maintenance and key items to check	Cleaning/Repair Needed Y/N Describe	Date of Cleaning/Repair	Performed by:
Pavement Sweeping	Monthly			Quarterly with vacuum or monthly with mechanical sweeper			
Deep Sump Hooded Catch Basin	4 times per year			clean when deposits accumulate to halfway between invert and bottom of unit			
Baysaver Water Quality Unit	4 times per year			clean when deposits accumulate to twenty (20) inches from bottom of unit			
Vegetated Areas	4 times per year and after major storm events			Mow a minimum of twice per year.			
UG infiltration Chamber	2 times per year			Measure accumulated sediment. Remove with vac-truck if sediment is 3" thick			

Definitive Site Plan

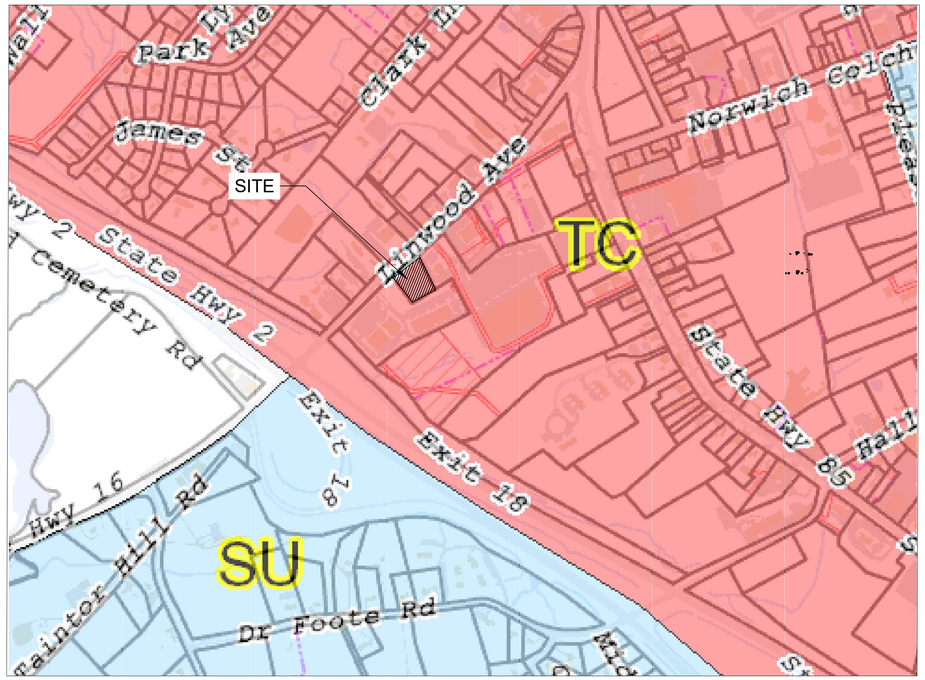
Issued for:	Permit
Date Issued:	October 12, 2023
Latest Issue:	October 12, 2023

Sheet Index

Number	Drawing Title	Latest Issue
C-1	Site Preparation, Erosion & Sediment Control Plan	10/12/2023
C-2	Layout & Materials Plan	10/12/2023
C-3	Grading Plan	10/12/2023
C-4	Drainage & Utility Plan	10/12/2023
C-5	Site Construction Details 1	10/12/2023
C-6	Site Construction Details 2	10/12/2023
C-7	Site Construction Details 3	10/12/2023
LA-1	Planting Plan	10/12/2023
SE-1	Site Lighting Photometric Plan	10/12/2023
	Boundary and Topographic Survey	6/15/2017

Proposed Commercial Development

131 Linwood Ave
Colchester, CT



Site Location Map ↑ Scale 1" = 400"

Legend

Exist.	Prop.	
		CONCRETE
132.75 ×	132.75 ×	SPOT ELEVATION
12"D	12"D	DRAIN
6"RD	6"RD	ROOF DRAIN
12"S	12"S	SEWER
4"FP	4"FP	FIRE PROTECTION
	2"DW	DOMESTIC WATER
3"G	G	GAS
E	E	ELECTRIC
T	T	TELEPHONE
		CATCH BASIN
		DRAIN MANHOLE
CO	CO	CLEANOUT
S		SEWER MANHOLE
GS	GS	CURB STOP & BOX
WV	WV	WATER VALVE & BOX
TSV	TSV	TAPPING SLEEVE, VALVE & BOX
GG	GG	GAS GATE
GM	GM	GAS METER
E	EMH	ELECTRIC MANHOLE
EM	EM	ELECTRIC METER
		LIGHT POLE
T	TMH	TELEPHONE MANHOLE
		UTILITY POLE
HH	HH	HAND HOLE
		PROPERTY LINE
		EASEMENT
		BUILDING SETBACK
		ZONING LINE
100'B		WETLAND BUFFER ZONE
	ECC	EXTRUDED CONCRETE CURB
	MCC	MONOLITHIC CURB & SIDEWALK
		SAWCUT
		BUILDING
	EN	BUILDING ENTRANCE
	LD	LOADING DOCK
		BOLLARD
		SIGN
		FENCE
4	4	MINOR CONTOUR
20	20	MAJOR CONTOUR
10	10	PARKING COUNT
SL	SL	STOP LINE
		CROSSWALK
		ACCESSIBLE CURB RAMP
		ACCESSIBLE PARKING
VAN	VAN	VAN–ACCESSIBLE PARKING

Abbreviations

General		Utility	
ABAN	ABANDON	CB	CATCH BASIN
ACR	ACCESSIBLE CURB RAMP	CO	CLEANOUT
ADJ	ADJUST	DCB	DOUBLE CATCH BASIN
APPROX	APPROXIMATE	DMH	DRAIN MANHOLE
BIT	BITUMINOUS	COND	CONDUIT
CONC	CONCRETE	D|P	DUCTILE IRON PIPE
ELEV	ELEVATION	F&G	FRAME AND GRATE
EXIST	EXISTING	F&C	FRAME AND COVER
FFE	FIRST FLOOR ELEVATION	G|	GUTTER INLET
GRAN	GRANITE	GT	GREASE TRAP
GTD	GRADE TO DRAIN	HDPE	HIGH DENSITY POLYETHYLENE PIPE
LA	LANDSCAPE AREA	HH	HANDHOLE
LOD	LIMIT OF DISTURBANCE	HYD	HYDRANT
MAX	MAXIMUM	INV	INVERT ELEVATION
MIN	MINIMUM	|=	INVERT ELEVATION
NTS	NOT TO SCALE	LP	LIGHT POLE
PERF	PERFORATED	MES	METAL END SECTION
PROP	PROPOSED	PVC	POLYVINYLCHLORIDE PIPE
REM	REMOVE	RCP	REINFORCED CONCRETE PIPE
R&D	REMOVE AND DISPOSE	R=	RIM ELEVATION
R&R	REMOVE AND RESET	SMH	SEWER MANHOLE
TYP	TYPICAL	TSV	TAPPING SLEEVE, VALVE AND BOX
		UG	UNDERGROUND
		UP	UTILITY POLE

Land Surveyor:
O'Brien Associates, Inc.
83 Mountain laurel Dr
Middletown, CT 06457
(860) 345-7511

MIDPOINT ENGINEERING + CONSULTING
37 SUTTON ROAD
WEBSTER, MA 01570
(508) 721-1900
pdoherty@midpointengineering.com

Owner:
Kettle Club, LLC
37 SUTTON ROAD - Suite 1
WEBSTER, MA 01570
(508) 721-0005

Applicant:
Galaxy Development, LLC
37 SUTTON ROAD - Suite 1
WEBSTER, MA 01570
(508) 721-0005

Assessor MBL 11-00-027-000

131 Linwood Ave
Zoning District: TC

DEMOLITION NOTES:

1. CONTRACTOR SHALL CALL BEFORE YOU DIG" (1-800-922-4455) AT LEAST 48 HOURS BUT NO MORE THAN 30 DAYS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. THIS PLAN IS PROVIDED SOLELY FOR INFORMATIONAL PURPOSES. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND REMOVE ALL EXISTING MAN-MADE OR NATURAL FEATURES WITHIN THE LIMIT OF WORK NECESSARY TO COMPLETE THE PROPOSED DEVELOPMENT, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
4. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
5. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT. EARTHWORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GSI DATED MARCH 11, 2011.
6. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES. EXISTING UTILITIES TO REMAIN SHALL BE MAINTAINED & PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
7. ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY SHALL REMAIN UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES ALONG THE SITE FRONTAGE WITHIN THE RIGHT OF WAY AND SHALL COORDINATE TEMPORARY PROTECTIONS, RELOCATIONS OR MODIFICATIONS WITH THE UTILITY OWNERS.
8. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES. CONSULT ENVIRONMENTAL ENGINEER PRIOR TO DEMOLITION.
9. FURNISH, ERECT AND MAINTAIN ALL TEMPORARY BARRICADES, FENCES, COVERINGS, ENCLOSURES, SIGNS AND LIGHTING AS MAY BE REQUIRED TO CARRY ON DEMOLITION WORK IN A SAFE AND LEGAL MANNER.
10. PLACE EROSION CONTROLS PRIOR TO DEMOLITION. MAINTAIN EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT SEE SHEET C-6 FOR ADDITIONAL INFORMATION.
11. LIMIT OF WORK SHALL BE THE PROPERTY LINE WHERE IT IS NOT CALLED OUT ON THE PLAN.
12. "STRUCTURES" SHALL BE DEFINED AS ALL ABOVE AND BELOW GRADE COMPONENTS OF THE EXISTING BUILDINGS INCLUDING BUT NOT LIMITED TO FOOTINGS, FOUNDATIONS, FOUNDATION WALLS, UNDERGROUND PIPING, EQUIPMENT, SUPPORTS, ETC.
13. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM THE DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED.
14. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
15. CONTRACTOR SHALL CONTROL STORM WATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
16. HOURS OF OPERATION TO BE AS PER LOCAL ORDINANCE. CONTRACTOR TO VERIFY PRIOR TO STARTING ON SITE OPERATIONS.
17. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
18. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER AND ENVIRONMENTAL ENGINEER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
19. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
20. ALL EXISTING MONITORING WELLS ON SITE SHALL BE ABANDONED IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS PRIOR TO PERFORMING EXCAVATION ACTIVITIES. CONTRACTOR SHALL COORDINATE WITH THE PROJECT LICENSED ENVIRONMENTAL PROFESSIONAL (LEP) WHEN ABANDONING WELLS.
21. EXISTING WATER SERVICES NOTED TO BE ABANDONED MUST BE TERMINATED AT THE MAIN IN ACCORDANCE WITH TOWN STANDARDS

Site S&E Narrative:

THE PROPOSED PROJECT WILL INCLUDE DEMOLITION OF EXISTING BUILDINGS AND SITE FEATURES AND CONSTRUCTION OF ONE NEW BUILDING.. IMPROVEMENTS INCLUDE BUILDING CONSTRUCTION, PAVED PARKING AREA, UTILITY CONNECTIONS AND STORMWATER MANAGEMENT SYSTEM THAT MEETS GUIDELINES OF THE 2023 CONNECTICUT STORMWATER QUALITY MANUAL.

THE APPROXIMATELY 1.1 ACRE PROJECT SITE WILL BE REDEVELOPED IN A SINGLE PHASE PROJECT. APPROXIMATELY 1.25 ACRES WILL BE DISTURBED DURING CONSTRUCTION, WHICH INCLUDES THE REGRADING AREAS OF THE EXISTING ROW AND ADJACENT PARCEL TO THE SOUTH. TO CONTROL SEDIMENT EROSION DURING EARTH FILLING OPERATIONS, THE CONTRACTOR SHALL EMPLOY TECHNIQUES OUTLINED IN THE CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES TO ENSURE THAT EROSION DOES NOT OCCUR AND THAT SEDIMENT IS NOT TRANSPORTED OFF-SITE.

THE EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

REFER TO THE DRAINAGE/STORMWATER MANAGEMENT REPORT FOR MORE INFORMATION.

Temporary Erosion and Sedimentation Control Maintenace (throughout construction)

THE CONTRACTOR OR SUBCONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.

THE CONTRACTOR WILL INSPECT ALL SEDIMENT AND EROSION CONTROL STRUCTURES PERIODICALLY AND AFTER EACH RAINFALL EVENT. RECORDS OF THE INSPECTIONS WILL BE PREPARED AND MAINTAINED ON-SITE BY THE CONTRACTOR.

DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.

SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.

EROSION CONTROL STRUCTURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SECURELY STABILIZED. AFTER REMOVAL OF STRUCTURES, DISTURBED AREAS SHALL BE REGRADED AND STABILIZED AS SOON AS PRACTICAL.

MAINTAIN THE CONSTRUCTION ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENTS ONTO PAVED SURFACES.

Construction Sequence

1. THE SITE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT ROADS/HIGHWAYS AND THEIR DRAINAGE SYSTEM, NEIGHBORING PROPERTIES, AND REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT. PRIOR TO CONSTRUCTION, 24-HR CONTACT INFORMATION FOR THE SITE CONTRACTOR WILL BE PROVIDED PRIOR TO START OF CONSTRUCTION
2. CONTRACTOR SHALL ADHERE TO CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
3. FLAG THE LIMITS OF CONSTRUCTION NECESSARY TO FACILITATE THE PRECONSTRUCTION MEETING.
4. HOLD PRE-CONSTRUCTION MEETING WITH THE TOWN OF COLCHESTER ENGINEERING DEPARTMENT. (REMEMBER TO NOTIFY CALL BEFORE YOU DIG 1-800-922-4455).
5. NOTIFY THE TOWN OF COLCHESTER ZONING ENFORCEMENT OFFICER AND ENGINEERING DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.
6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSPECTED BY THE TOWN OFCOLCHESTER ZONING ENFORCEMENT STAFF.
7. PRIOR TO INSTALLING SURFACE WATER CONTROLS, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING SURFACE WATER CONTROLS.
8. INSTALL EROSION AND SEDIMENT CONTROLS IN ACCORDANCE WITH THE E&S PLAN FOR THE SITE INCLUDING SILT FENCE BARRIERS AND SILT SACKS.
9. REMOVE PAVEMENT IN DESIGNATED AREAS.
11. BEGIN UTILITY AND FOUNDATION CONSTRUCTION
13. INSTALL SILT SACK SEDIMENT TRAPS IN ALL CATCH BASINS.
15. INSTALL PAVEMENT BASE & FIRST COURSE OF BITUMINOUS CONCRETE AT PARKING AREA.
17. INSTALL LANDSCAPING & LOAM AND SEED ALL DISTURBED AREAS.
18. AFTER SITE IS STABILIZED REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS.
19. LOAM AND SEED ALL DISTURBED AREAS.
20. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR THE FINAL COURSE OF PAVING. INSPECT THE DRAINAGE SYSTEM AND CLEAN AS NEEDED.
21. INSTALL FINAL COURSE OF PAVEMENT.

Erosion and Sedimentation Control Tecniques

THE FOLLOWING EROSION AND SEDIMENTATION CONTROLS SHALL BE EMPLOYED BY THE CONTRACTOR DURING THE EARTHWORK AND CONSTRUCTION PHASES OF THE PROJECT IN ACCORDANCE WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

SILT FENCING
ALONG THE WESTERLY SIDE OF THE PARKING LOT SILT FENCING WILL BE INSTALLED. THIS SEMI-PERMEABLE BARRIER MADE OF A SYNTHETIC POROUS FABRIC WILL PROVIDE PROTECTION FROM TRANSPORT OF SEDIMENT OFF SITE. THE SILT FENCES WILL BE REPLACED AS DETERMINED BY PERIODIC FIELD INSPECTIONS.

CATCH BASIN PROTECTION
NEWLY CONSTRUCTED AND EXISTING CATCH BASINS WILL BE PROTECTED WITH SILT SACKS THROUGHOUT CONSTRUCTION.

VEGETATIVE SLOPE STABILIZATION
STABILIZATION OF OPEN SOIL SURFACES WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, UNLESS THERE IS SUFFICIENT SNOW COVER TO PROHIBIT IMPLEMENTATION. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR FLATTER. ANNUAL GRASSES, SUCH AS ANNUAL RYE, WILL BE USED TO ENSURE RAPID GERMINATION AND PRODUCTION OF ROOTMASS. PERMANENT STABILIZATION WILL BE COMPLETED WITH THE PLANTING OF PERENNIAL GRASSES OR LEGUMES. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

STOCKPILE MANAGEMENT
SIDESLOPES OF STOCKPILED MATERIAL SHALL BE NO STEEPER THAN 2:1. STOCKPILES NOT USED WITHIN 30 DAYS NEED TO BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE. HAYBALES AND SILT FENCE ARE TO BE PLACED AROUND THE STOCKPILE AREA APPROXIMATELY 10 FEET FROM THE TOW OF SLOPE.

DUST CONTROL
PERIODICALLY MOISTEN EXPOSED SURFACES ON UNPAVED TRAVELWAYS TO KEEP THE TRAVELWAY DAMP AND REDUCE DUST.

Post Construction Stormwater Management

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT STORMWATER MANAGEMENT SYSTEMS BE INSPECTED AND MAINTAINED. THE FOLLOWING PLAN COMPONENTS SHALL BE ADHERED TO:

SOURCE CONTROL
A COMPREHENSIVE SOURCE CONTROL PROGRAM WILL BE IMPLEMENTED AT THE SITE, WHICH INCLUDES REGULAR PAVEMENT SWEEPING AND CATCH BASIN CLEANING.

DEEP SUMP CATCH BASINS
CATCH BASINS AT THE SITE ARE TO BE CONSTRUCTED WITH SUMPS (MINIMUM 4-FEET) TO TRAP DEBRIS AND SEDIMENTS. CATCH BASINS WILL BE CLEANED ONCE PER YEAR.

HYDRODYNAMIC SEPARATOR WATER QUALITY UNIT
A HYDRODYNAMIC SEPARATOR WATER QUALITY UNIT WILL BE USED TO TREAT STORMWATER BEFORE IT REACHES THE DISCHARGE POINT. THIS ALLOWS SUSPENDED SEDIMENTS TO BE REMOVED AND REDUCES SEDIMENTATION ACCUMULATION. INSPECT THE WATER QUALITY UNIT FOR ACCUMULATED SEDIMENT AND DEBRIS FOUR TIMES PER YEAR.. NECESSARY SEDIMENT AND/OR DEBRIS REMOVAL WILL BE PERFORMED IMMEDIATELY UPON IDENTIFICATION AND WHEN POLLUTANT LAODS REACH 15% OF STORAGE CAPACITY (10-INCH DEPTH).

Erosion Control

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

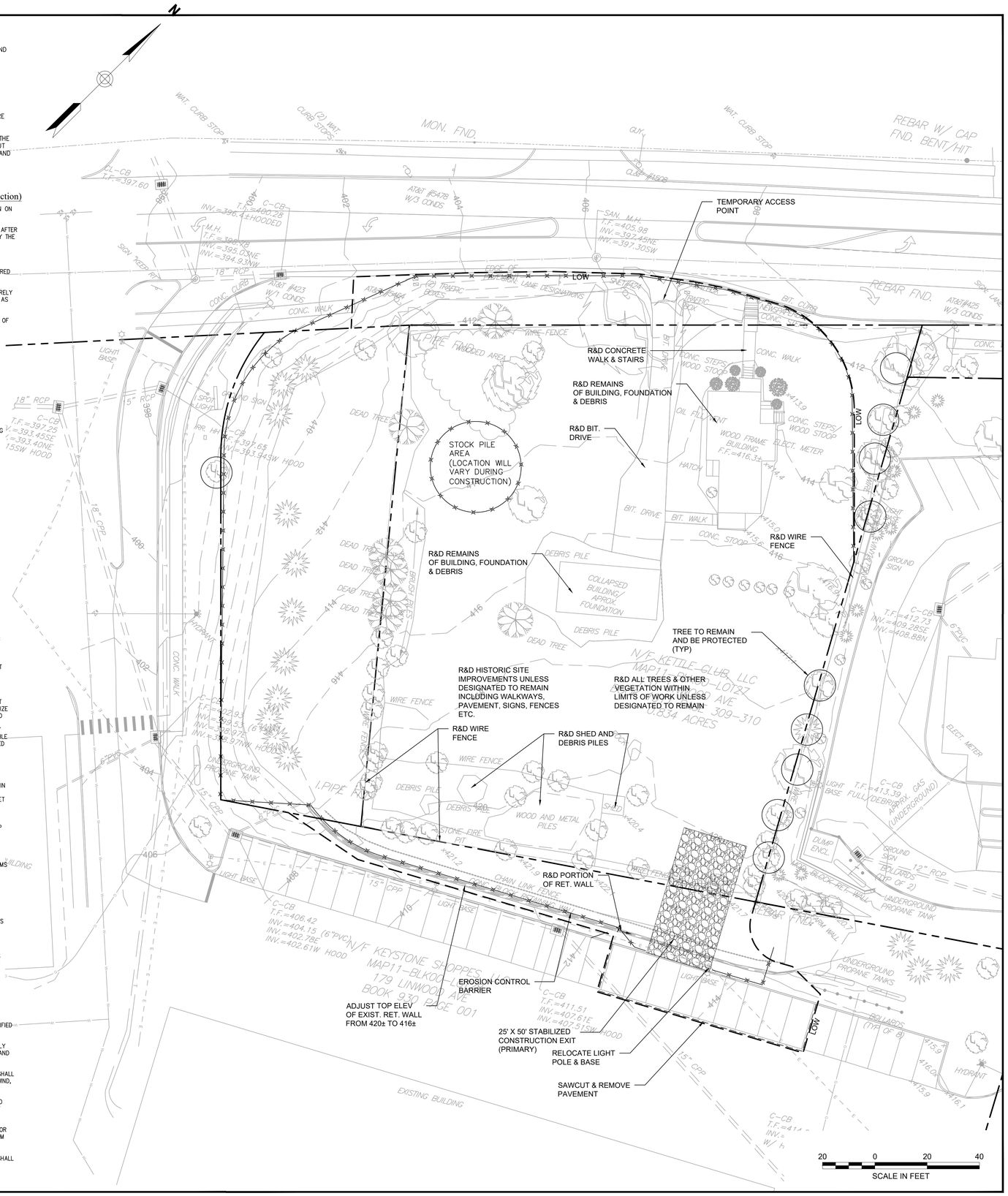
INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.

UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS LOCATED ON SITE.

DEWATERING, IF REQUIRED, SHALL BE ACCOMPLISHED BY INSTALLATION OF 4" PIPE IN STONE. PUMP SHALL DISCHARGE TO A TEMPORARY HAYBALE DEWATERING BASIN PRIOR DISCHARGE.



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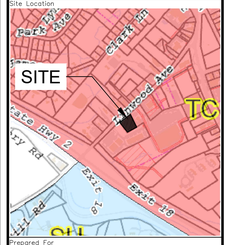

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Oct. 12, 2023	Scale	as noted
Revision		Date

Project Title

PROPOSED COMMERCIAL DEVELOPMENT

131 LINWOOD AVE
COLCHESTER, CT

Issued For

Definitive Site Plan

Not for Construction

Drawing Title

SITE PREPARATION, EROSION & SEDIMENT CONTROL PLAN

Drawing No.

C-1

Proj. No. XXX

Sheet 1 of 8

Zoning Summary Chart

Zoning District(s): TC
Overlay District(s): None

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	10,000 SF	47,614 SF
FRONTAGE	75 FT	251 FT
FRONT YARD SETBACK	NA	139 FT
SIDE YARD SETBACK	NA	50 FT
REAR YARD SETBACK	NA	62 FT
MAX. BLDG COVERAGE	75 %	11 %
MAX. BUILDING HEIGHT	3 STY / 40 FT	24 FT
MAX. IMP COVERAGE	95 %	59 %
PARKING LOT LANDSCAPE	15 %	< 15%
MAX PARKING AREA IMPERVIOUS	75 %	74%
NUMBER OF PARKING SPACES	251	47

RETAIL, RESTAURANT, PERSONAL SERVICE IS AN ALLOWED USE IN THE TC ZONING DISRICT.
PICK UP WINDOW USE REQURES SPECIAL PERMIT REVIEW.

Parking Requirements:

RESTAURANT UNIT 1	42 SEAT x 1SP/3 SEAT = 14
RETAIL/SERVICE UNIT 2	1,200 SF GFA x 2SP/1000 SF GFA = 3
RESTAURANT UNIT 3	30 SEAT x 1SP/3 SEAT = 10

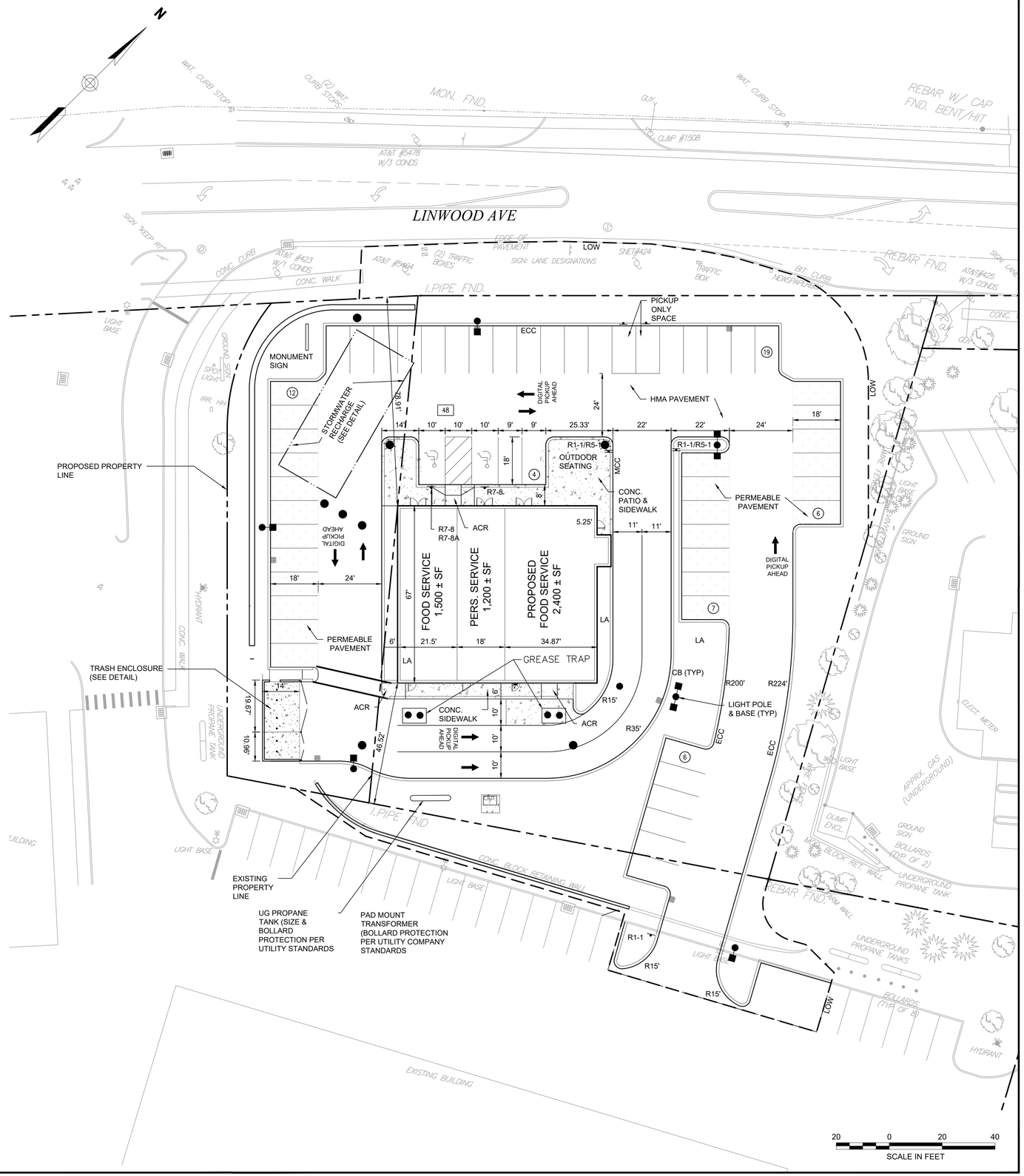
TOTAL PARKING REQUIRED = 27
TOTAL PARKING PROVIDED = 47
ADA PARKING REQUIRED (26-50 TOTAL SPACES) 2
ADA PARKING PROVIDED 2

Sign Summary

M.U.T.C.D. Number	Specification Width	Specification Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	RESERVED PARKING
R7-8A	12"	6"	VAN ACCESSIBLE
R5-1	30"	30"	DO NOT ENTER
RA	30"	30"	RESTRICTED — AREA — AUTHORIZED PERSONNEL ONLY

Layout and Materials

1. LANDSCAPED SETBACK AREAS AND REQUIRED PARKING SPACES SHALL NOT BE USED FOR SNOW STORAGE. ONCE ALL DESIGNATED SNOW STORAGE AREAS REACH CAPACITY, THE SNOW SHALL BE REMOVED FROM THE SITE.
2. ALL LOADING SPACES SHALL BE STRIPED AS SHOWN ON THE PLAN. ALL PARKING SPACES SHALL BE STRIPED AND ACCESSIBLE SPACES PLACARDS INSTALLED AS REQUIRED BY THE ARCHITECTURAL ACCESS BOARD.
3. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
4. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
5. CURBING SHALL BE EXTRUDED CONCRETE (ECC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
7. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
10. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.



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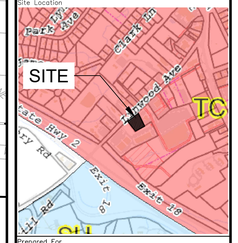

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Date: Oct. 12, 2023 Scale: as noted

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1	CHIPOTLE COMMENTS	9/29/23

Project Title

PROPOSED COMMERCIAL DEVELOPMENT

131 LINWOOD AVE
COLCHESTER, CT

Issued For

Definitive Site Plan

Not for Construction

Drawing Title

Site Plan

Drawing No.

C-2

Proj. No. XXX

Sheet 2 of 8

NOTES

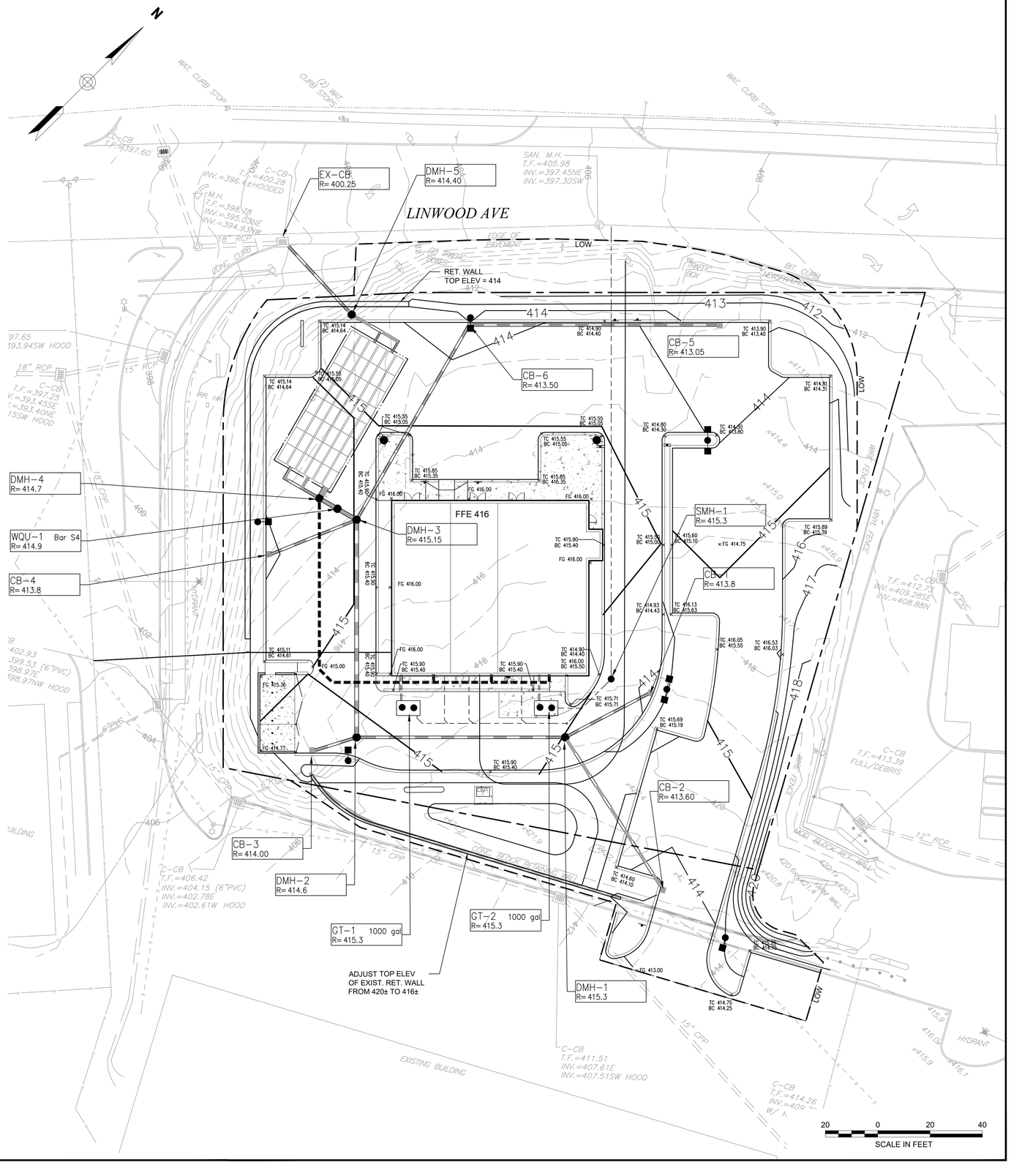
1. CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1 800 322-4455) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
4. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
8. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
   A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
   B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
   C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
15. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
16. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
17. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
   A. WATER PIPES SHALL BE DUCTILE IRON FOR GREATER THAN 2" DIAMETER OR AS REQUIRED BY THE CITY OF WORCESTER DPW.
   B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE
   C. STORM DRAINAGE PIPES SHALL BE HDPE SMOOTH LINED CAPABLE OF WITHSTANDING HS 20 LOADING UNLESS OTHERWISE INDICATED ON THE PLANS. STORM DRAIN PIPES CONNECTING TO THE CITY STORM DRAIN WITHIN THE ROW SHALL BE REINFORCED CONCRETE PIPE.
   D. ELECTRIC AND TELECOMMUNICATION CONDUITE SHALL BE PVC SCHEDULE 40.
   E. IRRIGATION SLEEVES SHALL BE PVC SCHEDULE 40.
18. CONTRACTOR SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ELECTRICAL WIRING AND EQUIPMENT WHICH SHALL BE FURNISHED AND INSTALLED BY A LICENSED ELECTRICIAN.
19. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
20. NEW CATCH BASINS SHALL BE "DEEP SUMP" CATCH BASIN WITH HOOD AND MINIMUM SUMP DEPTH OF 4 FEET.
21. ALL WATER AND SEWER PIPE AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CITY OF WORCESTER STANDARDS.
22. MINIMUM COVER OVER ALL WATER PIPES SHALL BE 5 FEET.
23. NO SEWER MAIN OR SEWER CONNECTION SHALL BE INSTALLED CLOSER THAN TEN (10) FEET HORIZONTALLY OR EIGHTEEN (18) INCHES VERTICALLY TO ANY WATER MAIN.

PLAN REFERENCES

1. EXISTING CONDITIONS AND BOUNDARY SURVEY BASE PLANS PREPARED BY O'BRIEN ASSOCIATES JUNE 15, 2017.

SOIL INFORMATION

1. BASED UPON USDA NRCS, ON-SITE SOILS CONSIST OF WOODBRIDGE FINE SANDY LOAM IN SOUTHWEST PORTIONS OF THE SITE AND PAXTON FINE SANDY LOAM IN OTHER AREAS.



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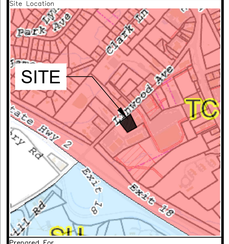
Seal

Site Location



Prepared For

GALAXY DEVELOPMENT, LLC

37 SUTTON ROAD
WEBSTER, MA 01570
(508) 721-0005

Date	Oct. 12, 2023	Scale	as noted

No.	Revision	Date

Project Title

PROPOSED COMMERCIAL DEVELOPMENT

131 LINWOOD AVE
COLCHESTER, CT

Issued For

Definitive Site Plan

Not for Construction

Drawing Title

Grading Plan

Drawing No.

C-3

Proj. No.	Sheet
XXX	3 of 8

NOTES

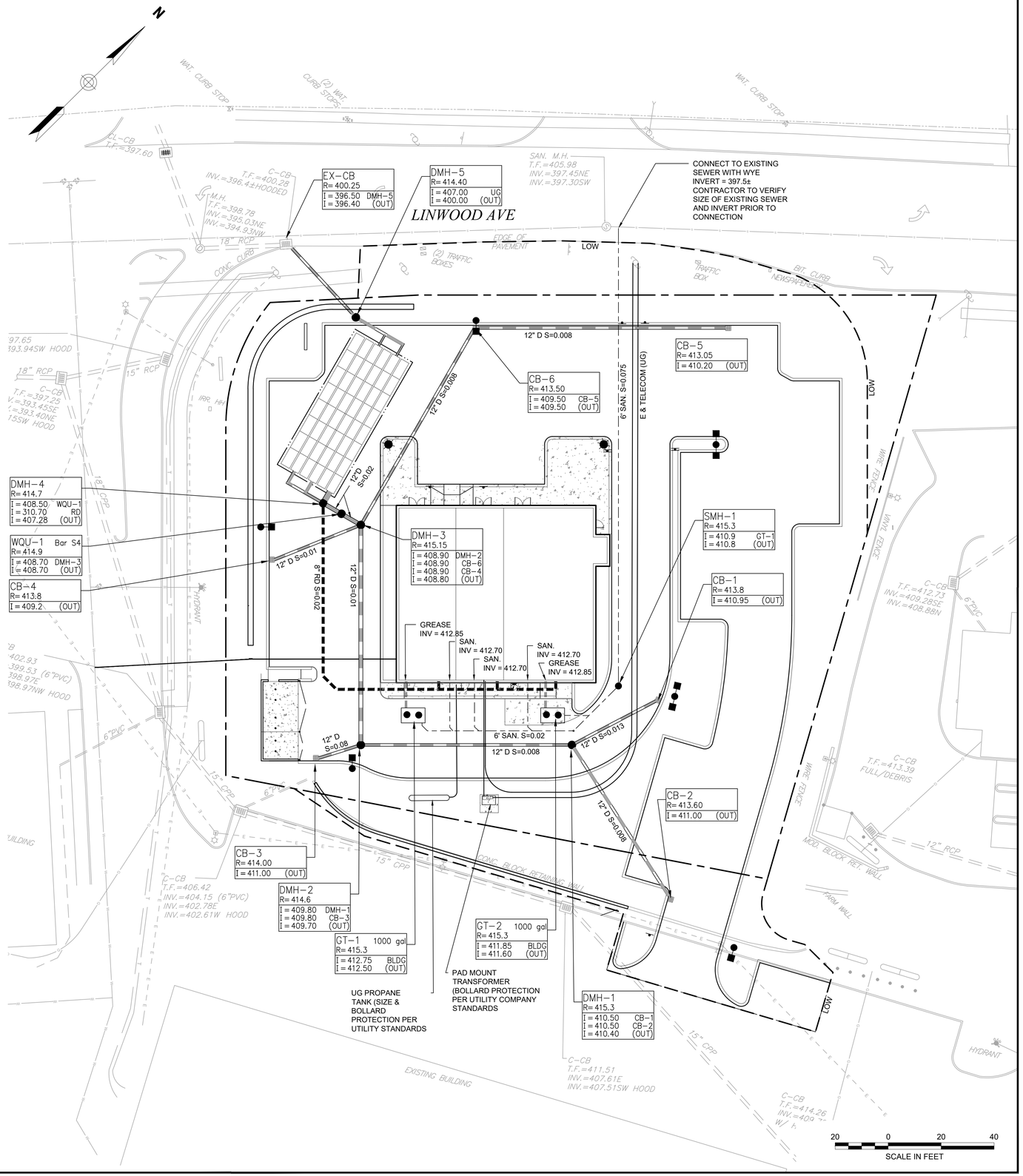
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
4. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
8. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
   A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
   B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
   C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
15. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
16. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
17. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
   A. WATER PIPES SHALL BE DUCTILE IRON FOR GREATER THAN 2" DIAMETER OR AS REQUIRED BY THE CITY OF WORCESTER DPW.
   B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 SEWER PIPE
   C. STORM DRAINAGE PIPES SHALL BE HDPE SMOOTH LINED CAPABLE OF WITHSTANDING HS 20 LOADING UNLESS OTHERWISE INDICATED ON THE PLANS.
      STORM DRAIN LINES CONNECTING TO CITY OF WORCESTER DRAINS WITHIN THE ROW SHALL BE REINFORCED CONCRETE PIPE.
   D. PRIMARY ELECTRIC CONDUIT SHALL BE AS REQUIRED BY NATIONAL GRID. SECONDARY ELECTRIC AND TELECOMMUNICATION CONDUIT SHALL BE PVC SCHEDULE 40.
   E. IRRIGATION SLEEVES SHALL BE PVC SCHEDULE 40.
18. CONTRACTOR SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ELECTRICAL WIRING AND EQUIPMENT WHICH SHALL BE FURNISHED AND INSTALLED BY A LICENSED ELECTRICIAN.
19. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
20. NEW CATCH BASINS SHALL BE "DEEP SUMP" CATCH BASIN WITH HOOD AND MINIMUM SUMP DEPTH OF 4 FEET.
21. ALL WATER AND SEWER PIPE AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CITY OF WORCESTER STANDARDS.
22. MINIMUM COVER OVER ALL WATER PIPES SHALL BE 5 FEET.
23. NO SEWER MAIN OR SEWER CONNECTION SHALL BE INSTALLED CLOSER THAN TEN (10) FEET HORIZONTALLY OR EIGHTEEN (18) INCHES VERTICALLY TO ANY WATER MAIN.

PLAN REFERENCES

1. EXISTING CONDITIONS AND BOUNDARY SURVEY BASE PLANS PREPARED BY CONTROL POINT ASSOCIATES AS SHOWN ON "THE HOSPITAL DRIVE SUBDIVISION" PLANS.
2. BASE PLAN INFORMATION AND WORK WITHIN OUTSIDE THE LIMIT OF THIS PROPERTY ARE BASED UPON THE LATEST REVISED HOSPITAL DRIVE SUBDIVISION PLANS AND SPECIFICATIONS PREPARED BY BOHLER ENGINEERING AS APPROVED BY THE CITY OF WORCESTER

DPW NOTES

1. ALL WORK MUST BE INSPECTED BY A DEPARTMENT OF PUBLIC WORKS UTILITY INSPECTOR. TO SCHEDULE A PRECONSTRUCTION MEETING, CONTACT THE ENGINEERING DIVISION AT (508) 532-6022 OR (508) 532-6010 FORTY-EIGHT HOURS PRIOR TO THE START OF WORK.
2. ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED FRAMINGHAM DRAIN LAYER.
3. ANY PROPOSED SURFACE OPENINGS AND EXCAVATION WORK WITHIN THE TOWN RIGHT-OF-WAY LIMITS WILL REQUIRE A STREET OPENING PERMIT (SOP) WITH THE WORK CONDUCTED UNDER SAID PERMIT BEING PERFORMED IN COMPLIANCE WITH THE TOWN OF FRAMINGHAM SOP POLICY.
4. A TRENCH OPENING PERMIT (TOP) SHALL BE OBTAINED PRIOR TO THE EXCAVATION OF ANY TRENCH. A TRENCH IS DEFINED UNDER MGL 82A AND 520 CMR 14.00 AS ANY EXCAVATION GREATER THAN 3' IN DEPTH AND LESS THAN 15' BETWEEN SOIL WALLS AS MEASURED FROM THE BOTTOM.
5. ALL PROPOSED WORK SHALL COMPLY WITH TOWN OF FRAMINGHAM DPW CONSTRUCTION STANDARDS. TOWN OF FRAMINGHAM CONSTRUCTION STANDARDS ARE AVAILABLE ON THE TOWN OF FRAMINGHAM WEBSITE.



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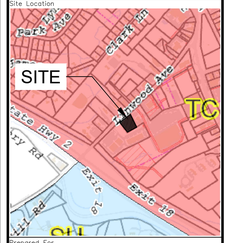

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Definitive Site Plan

Not for Construction

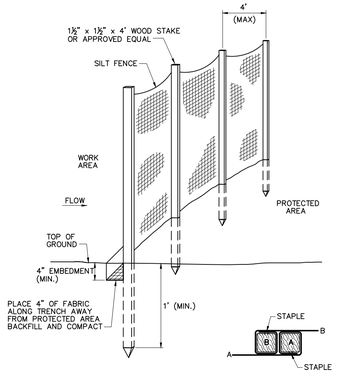
Drawing Title

DRAINAGE & UTILITY PLAN

Drawing No.

C-4

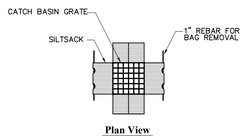
Proj. No.	Sheet
XXX	4 of 8



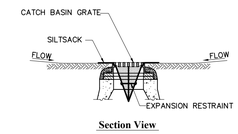
Wood Stake Joint Detail

SILT FENCE BARRIER

N.T.S.



Plan View



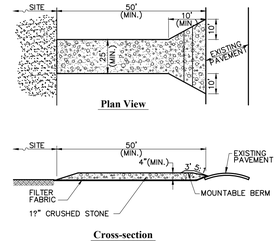
Section View

Notes:

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

SILT SACK SEDIMENT TRAP

N.T.S.



Plan View

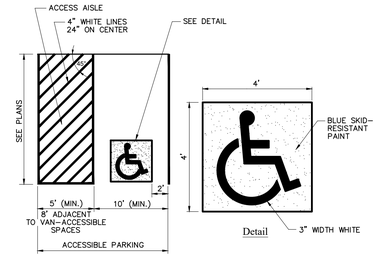
Cross-section

Notes:

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

A12 STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



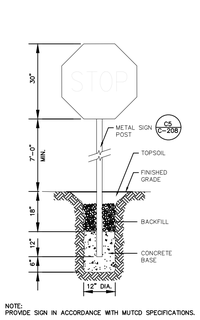
Detail

Notes:

1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS UNLESS OTHERWISE NOTED.
3. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

ASSESSIBLE PARKING SPACE DETAIL

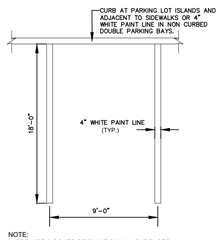
N.T.S.



NOTE:
PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS.

STOP SIGN

N.T.S.

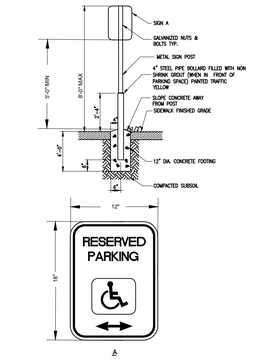


NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

2. SEE SITE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

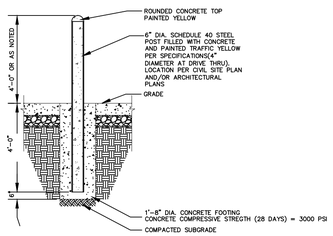
TYPICAL PARKING SPACE DETAIL

N.T.S.



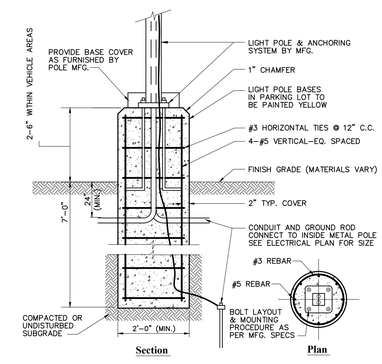
HANDICAPPED PARKING SIGNAGE DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.



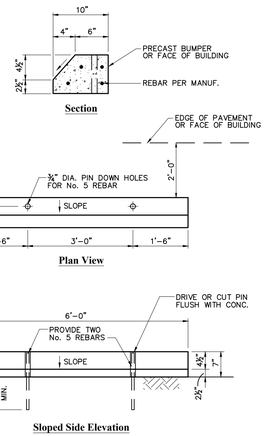
Section **Plan**

Notes:

LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

LIGHT POLE BASE

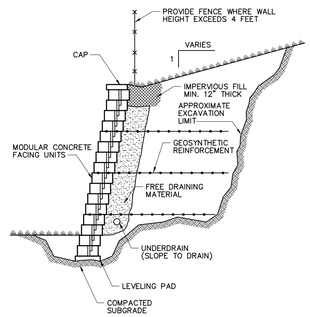
N.T.S.



Section **Plan** **Sloped Side Elevation**

CONCRETE WHEEL STOP

N.T.S.

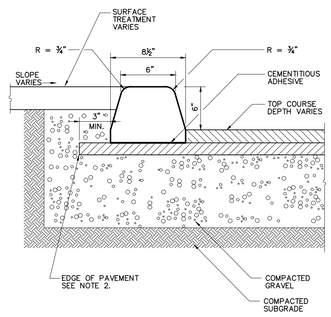


Note:

DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. FINAL DESIGN OF MODULAR WALL SYSTEM SHALL BE STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF CONNECTICUT. SPECIAL INSPECTION FORM SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT DURING THE BUILDING PERMIT PROCESS.

RETAINING WALL

N.T.S.

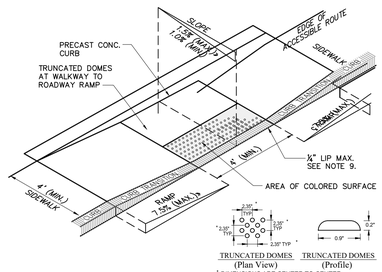


Notes:

1. ECC REFERS TO EXTRUDED CONCRETE CURB WHICH IS CAST-IN-PLACE IN THE FIELD.
2. WHEN ECC IS USED, CONTRACTOR IS TO DETERMINE THE EXTENDED LAYOUT DIMENSIONS OF THE BASE COURSE IN ORDER TO ACCOMODATE PLACEMENT OF THE ECC.

EXTRUDED CONCRETE CURB

N.T.S.

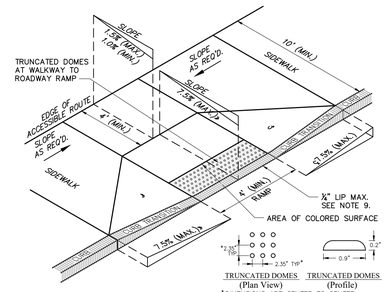


Notes:

1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES SHALL BE A DEPTH OF 24-INCHES AND SHALL BE LOCATED 6" – 8" FROM EDGE OF TRAVELED WAY.

ACCESSIBLE CURB RAMP

N.T.S.



Notes:

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5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE SET FLUSH.
10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES SHALL BE A DEPTH OF 24-INCHES AND SHALL BE LOCATED 6" – 8" FROM EDGE OF TRAVELED WAY.

ACCESSIBLE CURB RAMP

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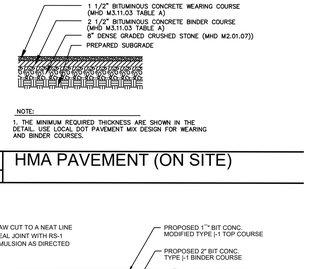
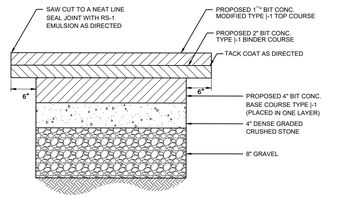


NOTE:
1. THE MINIMUM REQUIRED THICKNESS ARE SHOWN IN THE DETAIL. USE LOCAL DOT PAVEMENT MIX DESIGN FOR WEARING AND BINDER COURSES.

HMA PAVEMENT (ON SITE)

N.T.S.



NOTE:
BIT. CONC. PAVEMENTY SHALL BE SAW CUT TO OBTAIN A VERTICAL FACE. WHICH SHALL BE CLEANED AND COATED WITH RS-1 EMULSION PRIOR TO PLACING NEW BIT. CONC. PAVEMENT THAT WILL ABUT THIS FACE. SEAMS SHALL BE HEATED WITH INFRARED EQUIPMENT

FULL DEPTH PAVEMENT REPAIR

N.T.S.

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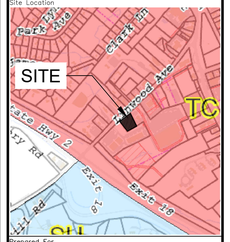

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131 LINWOOD AVE
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Drawing Title

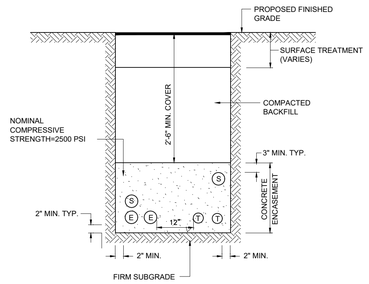
SITE CONSTRUCTION DETAILS 1

Drawing No.

C-5

Proj. No. XXX

Sheet 5 of 8



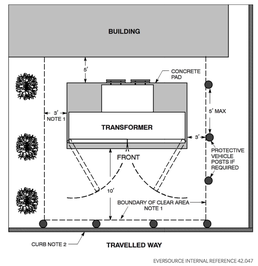
E-ELECTRICAL, 5" PVC CONDUIT
T-TELEPHONE, 4" PVC CONDUIT
FA-FIRE ALARM, 4" PVC CONDUIT
S-SPARE 4" PVC CONDUIT

NOTES:

1. TYPICAL CROSS-SECTION SUBJECT TO APPROVAL FROM PRIVATE COMPANIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL PROVIDE 10' STEEL CONDUIT SWEEPS FOR ELECTRICAL CONDUIT AND 10' STEEL CONDUIT TANGENT SECTION PRIOR TO SWEEP.

N.T.S. | TYPICAL CONDUIT BANK

Pad-Mounted Transformers Location To Buildings and Roadways

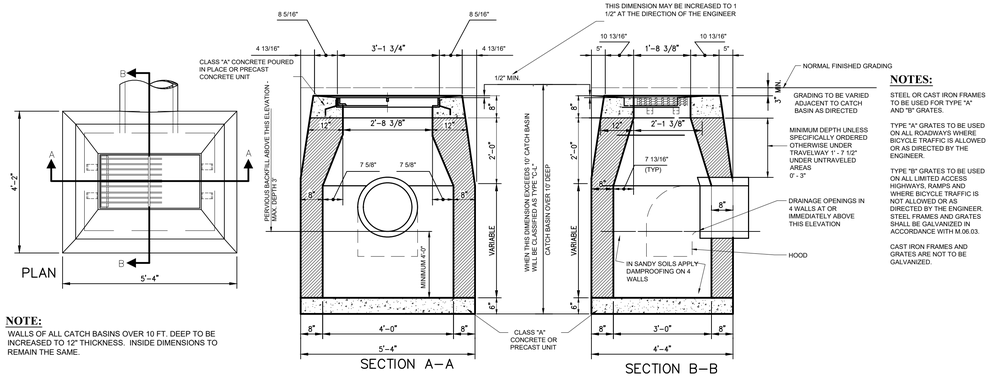


EVERSOURCE INTERNAL REFERENCE 42.047

NOTES

1. To inspect, provide access, operate elbow connectors, and ventilate the transformer, the above specified clear area distances to buildings or shrubs shall be maintained. The distance from the building is to the concrete transformer pad. Property line shall be considered an obstruction since fences, shrubs, etc. may be installed at a future date by adjacent property owners. Because of the possibility of cooling fins overhanging the pad, side clearances to be increased to 5' for transformers 1000 kVA and larger.
2. If no curb exists or transformer is located closer than 10' to the traveled way, protective vehicle posts shall be installed. Refer to **Pad Mounted Oil Insulated Equipment Location and Mechanical Protection**
3. The top of the concrete transformer pad shall be installed 6" above final grade.
4. Transformer shall not be located on steep grades where access to or elbow operation is made difficult.
5. Transformer shall meet the minimum distances to doors, windows, fire escapes, air intakes and walls. Refer to **Pad Mounted Oil Insulated Equipment Location and Mechanical Protection**
6. Transformer is not to be located with its doors facing the building.
7. Refer to **Oil Detention for Pad Mounted Transformers and Environmental Considerations** for information on environmental considerations.

N.T.S. | CONCRETE TRANSFORMER PAD



NOTES:

STEEL OR CAST IRON FRAMES TO BE USED FOR TYPE "A" AND "B" GRATES.

TYPE "A" GRATES TO BE USED ON ALL ROADWAYS WHERE BICYCLE TRAFFIC IS ALLOWED OR AS DIRECTED BY THE ENGINEER.

TYPE "B" GRATES TO BE USED ON ALL LIMITED ACCESS HIGHWAYS, RAMPS AND WHERE BICYCLE TRAFFIC IS NOT ALLOWED OR AS DIRECTED BY THE ENGINEER. STEEL FRAMES AND GRATES SHALL BE GALVANIZED IN ACCORDANCE WITH M.06.03.

CAST IRON FRAMES AND GRATES ARE NOT TO BE GALVANIZED.

NOTE:
WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP TO BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS TO REMAIN THE SAME.

N.T.S. | TYPE C-L CATCH B ASIN

Notes:

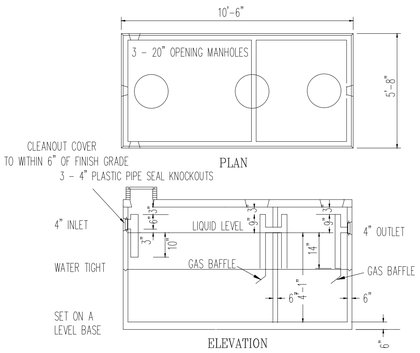
1. ALL SECTIONS SHALL BE DESIGNED FOR HS–20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

DRAIN MANHOLE

Notes:

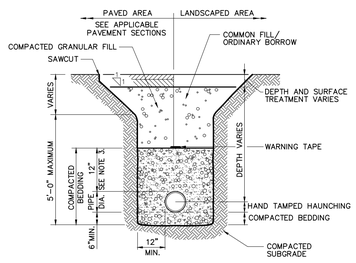
1. STRUCTURES SHALL BE DESIGNED FOR HS–20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER–PROOFING MATERIAL.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH SEWER BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

SEWER MAHHOLE



1,500 GALLON HS–20 GREASE TRAP

N.T.S. | GREASE TRAP



Notes:

1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
3. FOR HDPE PIPE, DIMENSION IS 24 INCHES.

N.T.S. | UTILITY TRENCH

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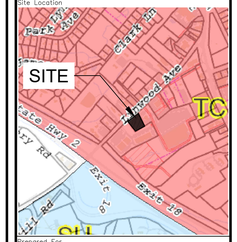
pdoherty@midpointengineering.com

Seal

Site Location



Prepared For

GALAXY DEVELOPMENT, LLC
37 SUTTON ROAD
WEBSTER, MA 01570
(508) 721-0005

Date	Oct. 12, 2023	Scale	as noted

No.	Revision	Date

Project Title
PROPOSED COMMERCIAL DEVELOMPENT

131 LINWOOD AVE
COLCHESTER, CT

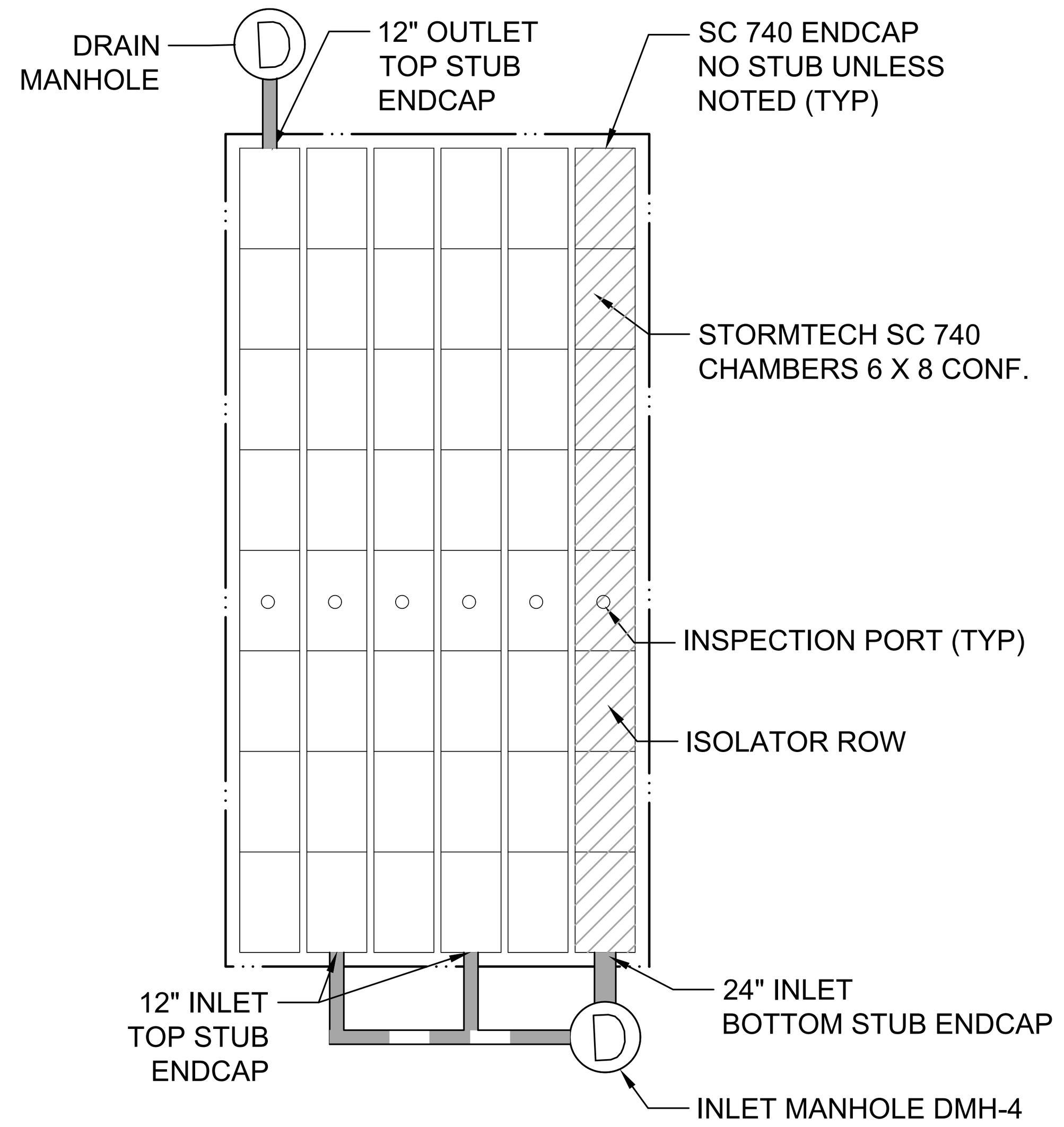
Issued For
Definitive Site Plan

Not for Construction

Drawing Title
SITE CONSTRUCTION DETAILS 2

Drawing No.
C-6

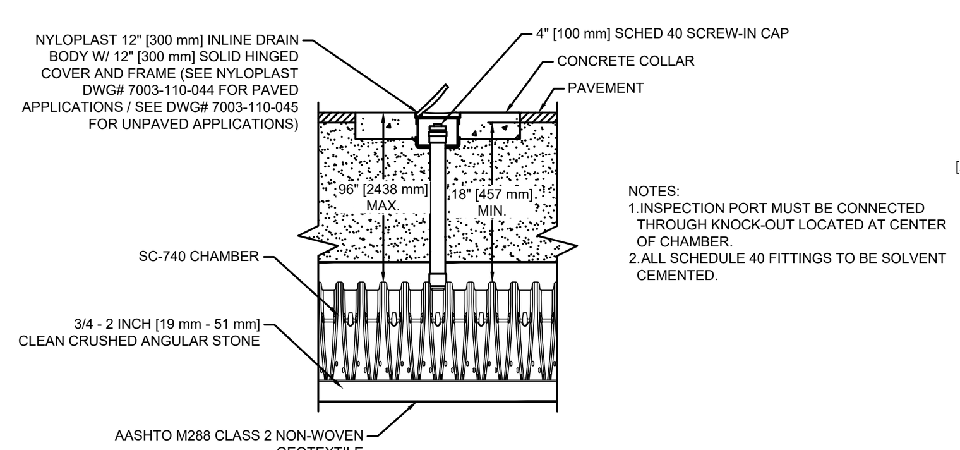
Proj. No.	Sheet
XXX	6 of 8



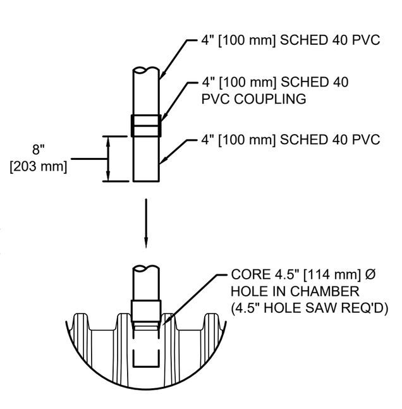
MIN F.G. = 411.75; MAX F.G. = 418.50
TOP OF STONE ELEV. = 410.50
TOP OF CHAMBER ELEV. = 410.00
BOTTOM OF CHAMBER ELEV. = 407.50
BOTTOM OF STONE ELEV. = 407.00

RECHARGE CHAMBER SYSTEM UG-1
StormTech SC 740 6 x 8 Configuration

N.T.S. UNDERGROUND CHAMBER SYSTEM PLAN VIEW



NOTES:
1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



CONNECTION DETAIL
NTS

INSPECTION PORT DETAIL

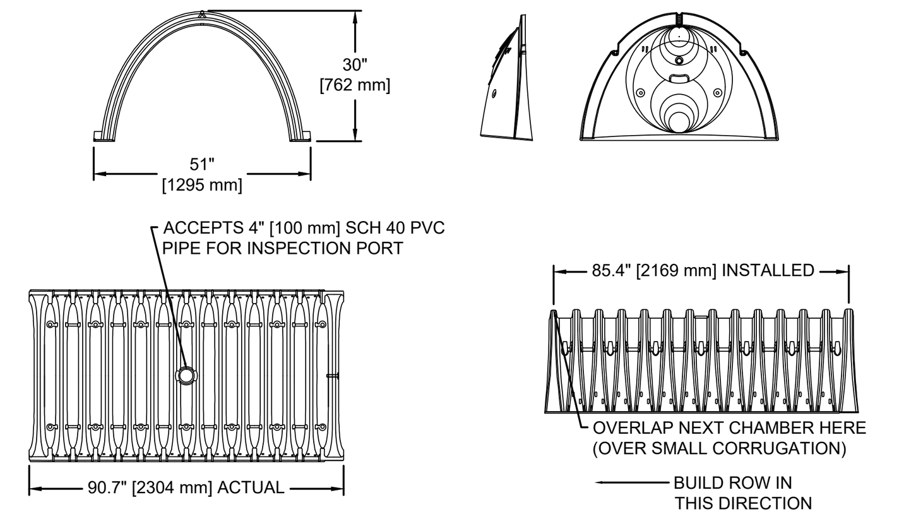
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION[1]	COMPACTION/DENSITY REQUIREMENT
(D) FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" [457 mm] ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" [305 mm] OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" [152 mm] LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs [53 kN]. DYNAMIC FORCE NOT TO EXCEED 20,000 lbs [89 kN].
(B) EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm]	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
(A) FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4 - 2 INCH [19 - 51 mm]	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY[2].

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".

2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" [229 mm] (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.

STORMTECH ACCEPTABLE FILL MATERIALS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W x H x INSTALLED LENGTH)	51.0" x 30.0" x 85.4" [1295 mm x 762 mm x 2169 mm]
CHAMBER STORAGE	45.9 CUBIC FEET [1.30 m³]
MINIMUM INSTALLED STORAGE	74.9 CUBIC FEET [2.12 m³]
WEIGHT	75 lbs. [33.6 kg]

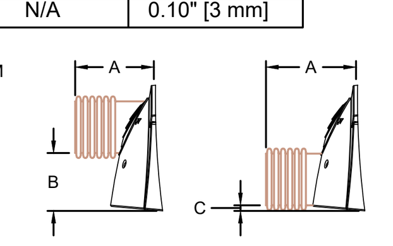
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

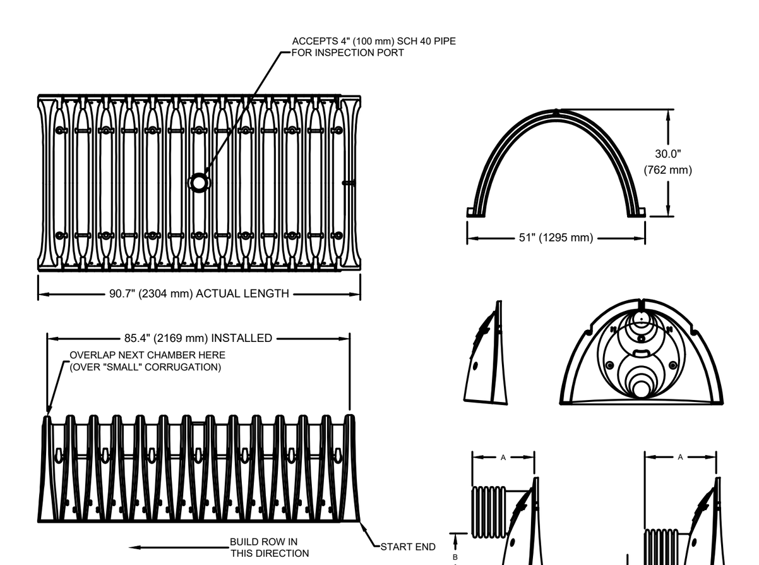
PART#	STUB	A	B	C
SC740EPE06T	6" [150 mm]	10.90" [277 mm]	18.50" [470 mm]	N/A
SC740EPE06B	6" [150 mm]	10.90" [277 mm]	N/A	0.50" [13 mm]
SC740EPE08T	8" [200 mm]	12.20" [310 mm]	16.50" [419 mm]	N/A
SC740EPE08B	8" [200 mm]	12.20" [310 mm]	N/A	0.60" [15 mm]
SC740EPE10T	10" [250 mm]	13.40" [340 mm]	14.50" [368 mm]	N/A
SC740EPE10B	10" [250 mm]	13.40" [340 mm]	N/A	0.70" [18 mm]
SC740EPE12T	12" [300 mm]	14.70" [373 mm]	12.50" [318 mm]	N/A
SC740EPE12B	12" [300 mm]	14.70" [373 mm]	N/A	1.20" [30 mm]
SC740EPE15T	15" [375 mm]	18.40" [467 mm]	9.00" [229 mm]	N/A
SC740EPE15B	15" [375 mm]	18.40" [467 mm]	N/A	1.30" [33 mm]
SC740EPE18T	18" [450 mm]	19.70" [500 mm]	5.00" [127 mm]	N/A
SC740EPE18B	18" [450 mm]	19.70" [500 mm]	N/A	1.60" [41 mm]
*SC740EPE24B	24" [600 mm]	18.50" [470 mm]	N/A	0.10" [3 mm]

NOTE: ALL DIMENSIONS ARE NOMINAL

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

*FOR THE SC740EPE24B THE 24" [600 mm] STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" [44 mm]. BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.





NOMINAL CHAMBER SPECIFICATIONS

SIZE (W x H x INSTALLED LENGTH) -	*51.0" x 30.0" x 85.4" (1295 mm X 762 mm X 2169 mm)*
CHAMBER STORAGE -	*45.9 CUBIC FEET (1.3 m³)*
MINIMUM INSTALLED STORAGE -	*74.9 CUBIC FEET (2.1m³)*
WEIGHT -	*75 lbs. (33.6 kg)*

STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"

PART #	CHAMBER	PIPE SIZE	A	B	C
SC740EPE06T	SC-740	6 in (150 mm)	10.90 in (277 mm)	18.50 in (470 mm)	N/A
SC740EPE06B	SC-740	6 in (150 mm)	10.90 in (277 mm)	N/A	0.50 in (13 mm)
SC740EPE08T	SC-740	8 in (200 mm)	12.20 in (310 mm)	16.50 in (419 mm)	N/A
SC740EPE08B	SC-740	8 in (200 mm)	12.20 in (310 mm)	N/A	0.60 in (15 mm)
SC740EPE10T	SC-740	10 in (250 mm)	13.40 in (340 mm)	14.50 in (368 mm)	N/A
SC740EPE10B	SC-740	10 in (250 mm)	13.40 in (340 mm)	N/A	0.70 in (18 mm)
SC740EPE12T	SC-740	12 in (300 mm)	14.70 in (373 mm)	12.50 in (318 mm)	N/A
SC740EPE12B	SC-740	12 in (300 mm)	14.70 in (373 mm)	N/A	1.20 in (30 mm)
SC740EPE15T	SC-740	15 in (375 mm)	18.40 in (467 mm)	9.00 in (229 mm)	N/A
SC740EPE15B	SC-740	15 in (375 mm)	18.40 in (467 mm)	N/A	1.30 in (33 mm)
SC740EPE18T	SC-740	18 in (450 mm)	19.70 in (500 mm)	5.00 in (127 mm)	N/A
SC740EPE18B	SC-740	18 in (450 mm)	19.70 in (500 mm)	N/A	1.60 in (41 mm)
SC740EPE24B	SC-740	24 in (600 mm)	18.50 in (470 mm)	N/A	0.10 in (3 mm)

**NOTE: ALL DIMENSIONS ARE NOMINAL*

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SETS LEVEL.

StormTech Detention•Retention•Recharge
Subsurface Stormwater Management™
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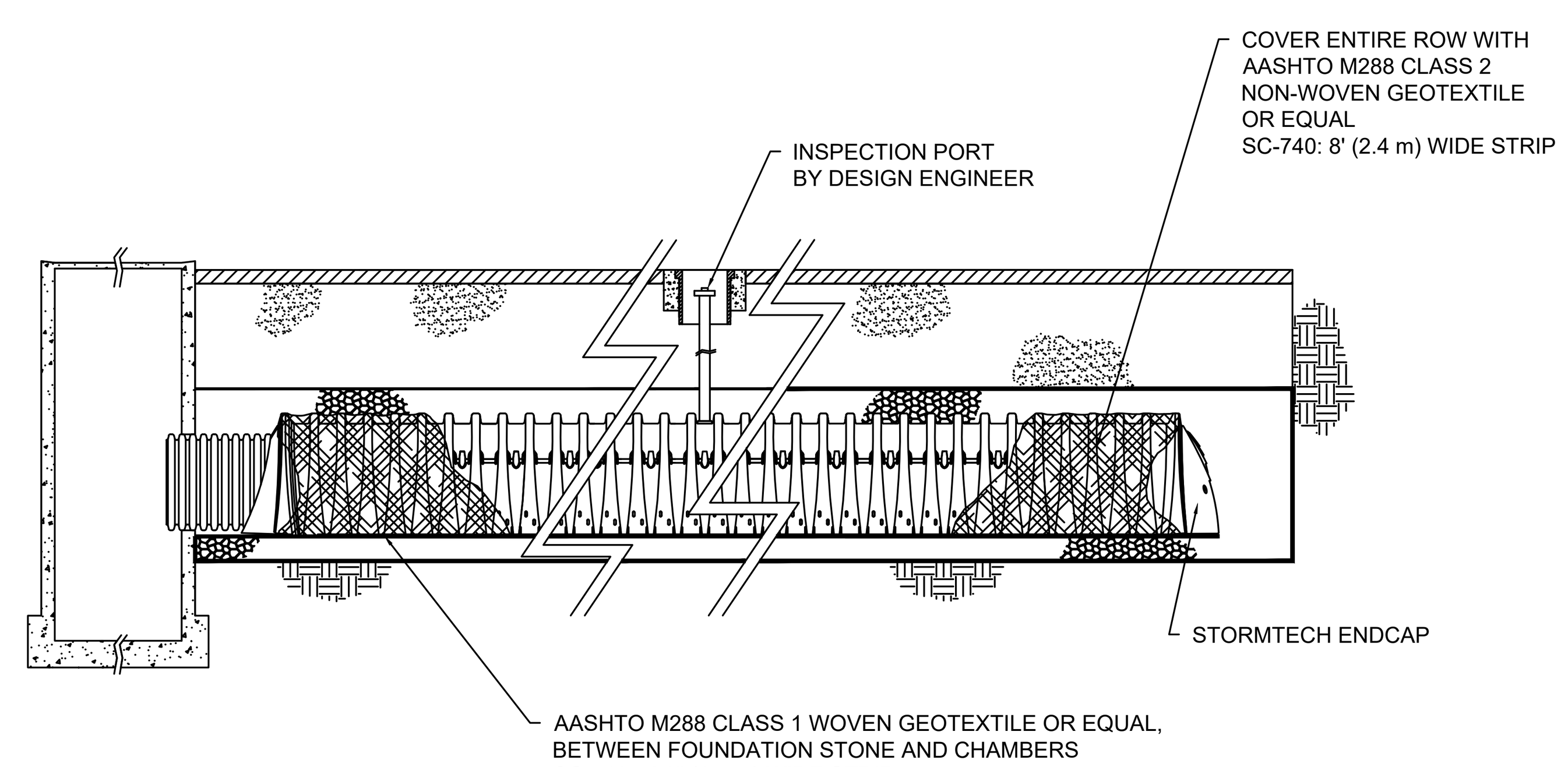
Wethersfield, CT 06109
Phone: 888-892-2694
Fax: 866-328-8401
www.stormtech.com

SC-740 TECHNICAL SPECIFICATIONS

SCALE:	NTS
DATE:	11-7-08
DRAWN BY:	JLB
CHECKED:	



STORMTECH STANDARD DETAIL DISCLAIMER
STORMTECH STANDARD DETAILS DEMONSTRATE RECOMMENDATIONS FOR INSTALLATION AND/OR STANDARD DIMENSIONS OF STORMTECH PRODUCTS. STORMTECH DETAILS DO NOT SUPERSEDE ANY STATE OR LOCAL REGULATORY SPECIFICATIONS. IT IS THE RESPONSIBILITY OF THE CONSULTING ENGINEER TO ENSURE COMPLIANCE WITH ALL REGULATORY SPECIFICATIONS. STORMTECH HAS NOT AUTHORIZED, AND IS NOT RESPONSIBLE FOR ANY ALTERATIONS BY OTHERS TO STORMTECH STANDARD DETAILS.

StormTech Detention•Retention•Recharge
Subsurface Stormwater Management™
20 Beaver Road, Suite 104
Wethersfield, CT 06109
Phone: 888-892-2694
Fax: 866-328-8401
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ISOLATOR ROW PROFILE

SCALE:	NTS
DATE:	11-7-08
DRAWN BY:	JLB
CHECKED:	

Prepared By:
MIDPOINT ENGINEERING + CONSULTING
37 Sutton Road
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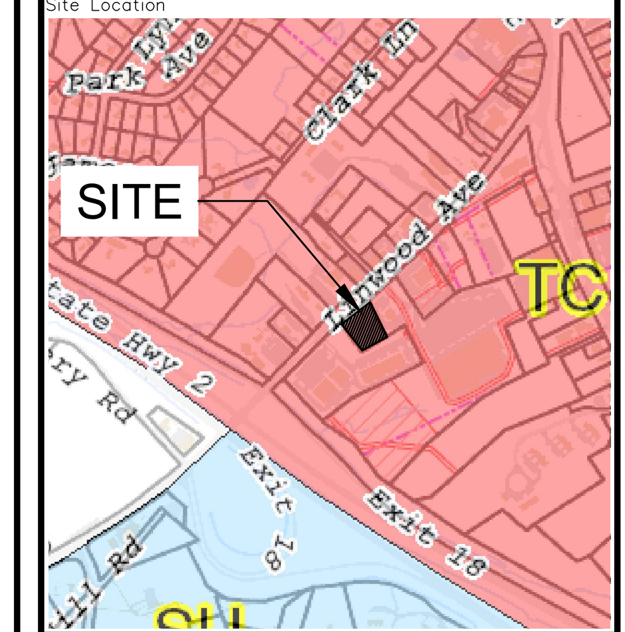
(508) 721-1900
pdoherty@midpointengineering.com

Seal

Site Location



Prepared For
GALAXY DEVELOPMENT, LLC
37 SUTTON ROAD
WEBSTER, MA 01570
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Date	Oct. 12, 2023	Scale	as noted
No.	Revision		Date

Project Title
PROPOSED COMMERCIAL DEVELOPMENT

131 LINWOOD AVE
COLCHESTER, CT

Issued For
Definitive Site Plan

Not for Construction

Drawing Title
SITE CONSTRUCTION DETAILS 3

Drawing No.
C-7

Proj. No.	Sheet
XXX	7 of 8

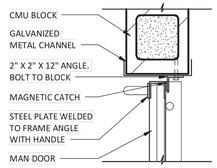
ARCHITECT TO VERIFY FOUNDATION DEPTH MEETS LOCAL FROST DEPTH - MIN. 2'-4" DEEP FOUNDATION REQUIRED

ARCHITECT TO MODIFY PER PROJECT

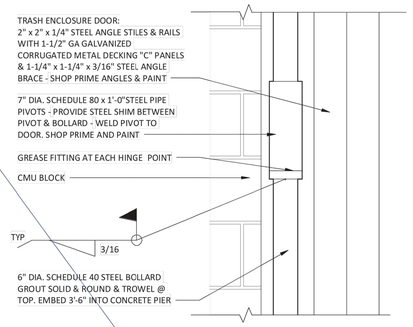
DUMPSTER ENCLOSURE FINISH SCHEDULE

MATERIAL	COLOR/FINISH
CMU - PRIMER	REFER TO PAINT SPECIFICATIONS, COLOR 'WHITE'
CMU	REFER TO PAINT SPECIFICATIONS
METAL COPING	PREFINISHED TO MATCH PAINTED CMU
CORRUGATED METAL & DOOR FRAMES	PAINTED 'KNIGHTS ARMOR' PPG 1001-6

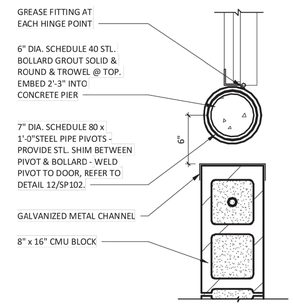
ARCHITECT TO CONFIRM ORIENTATION OF DUMPSTER ON PROJECT BASIS



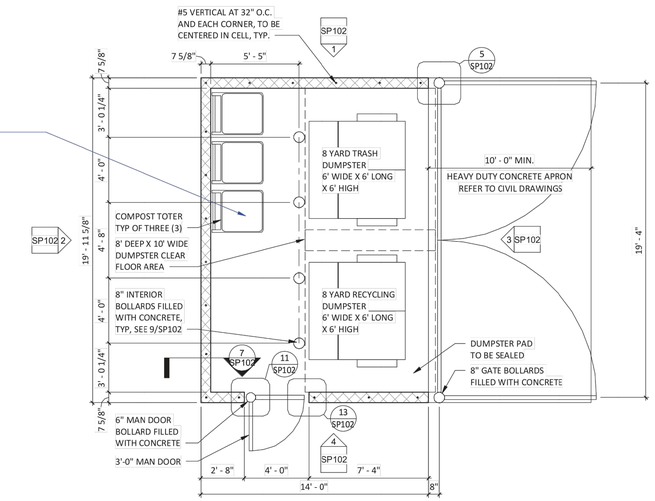
13 SP102 **MAN DOOR LATCH DETAIL**
1 1/2" = 1'-0"



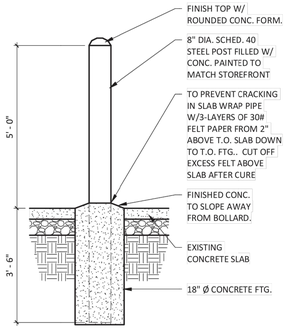
12 SP102 **MAN DOOR PIVOT**
1 1/2" = 1'-0"



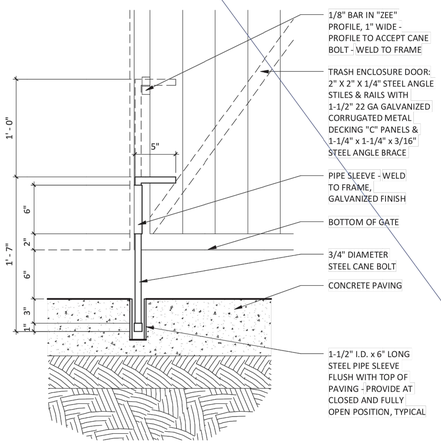
11 SP102 **MAN DOOR PIVOT DETAIL**
1 1/2" = 1'-0"



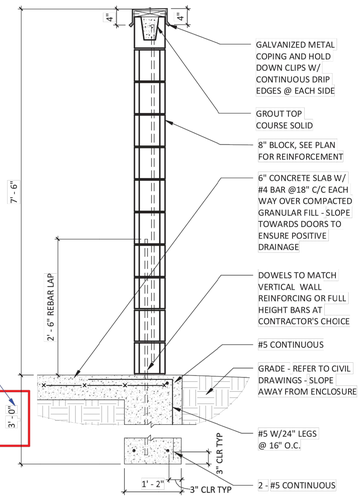
10 SP102 **DUMPSTER PLAN**
1/4" = 1'-0"



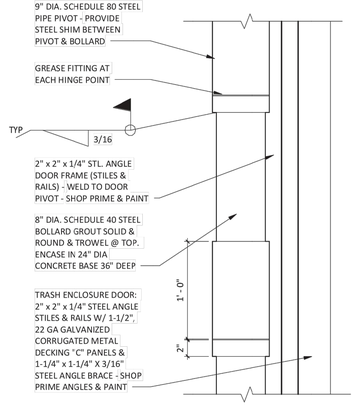
9 SP102 **TYP. BOLLARD DETAIL**
1/2" = 1'-0"



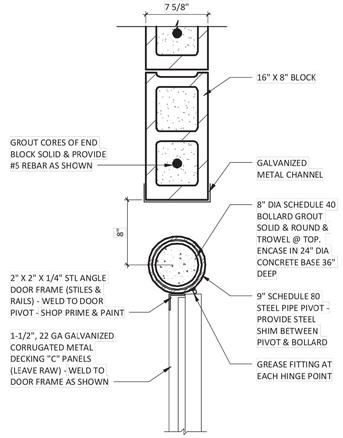
8 SP102 **TYPICAL CANE BOLT DETAIL**
1 1/2" = 1'-0"



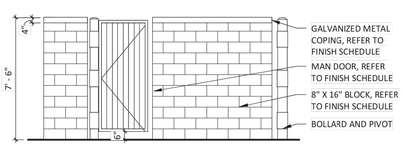
7 SP102 **DUMPSTER DETAIL**
3/4" = 1'-0"



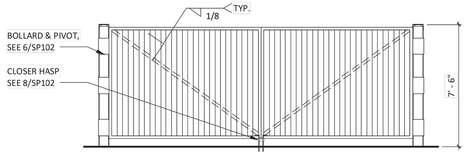
6 SP102 **DUMPSTER DOOR PIVOT**
1 1/2" = 1'-0"



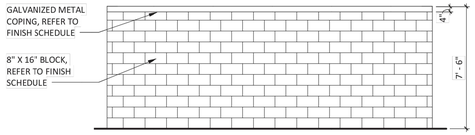
5 SP102 **DUMPSTER WALL DETAIL**
1 1/2" = 1'-0"



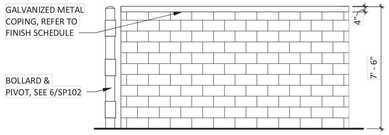
4 SP102 **DUMPSTER ELEVATION**
1/4" = 1'-0"



3 SP102 **DUMPSTER ELEVATION**
1/4" = 1'-0"



2 SP102 **DUMPSTER ELEVATION**
1/4" = 1'-0"

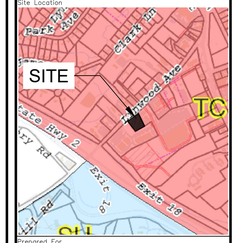


1 SP102 **DUMPSTER ELEVATION**
1/4" = 1'-0"

Prepared By:
MIDPOINT ENGINEERING + CONSULTING
37 Sutton Road
Webster, MA 01570
(508) 721-1900
pdoherty@midpointengineering.com

Seal

Site Location



Prepared For

GALAXY DEVELOPMENT, LLC
37 SUTTON ROAD
WEBSTER, MA 01570
(508) 721-0005

Date	Oct. 12, 2023	Scale	as noted

No.	Revision	Date

Project Title

PROPOSED COMMERCIAL DEVELOPMENT

131 LINWOOD AVE
COLCHESTER, CT

Issued For

Definitive Site Plan

Not for Construction

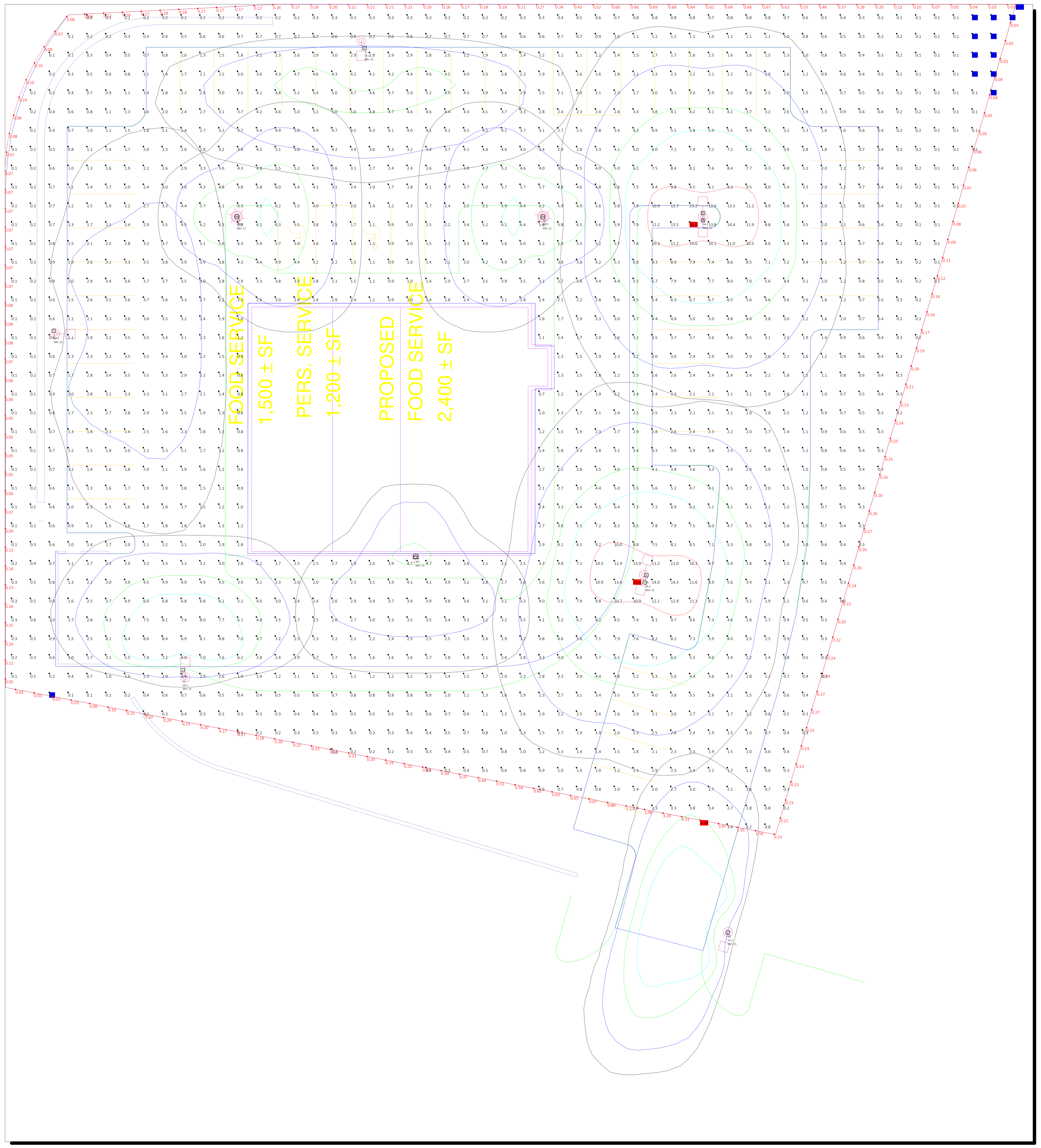
Drawing Title

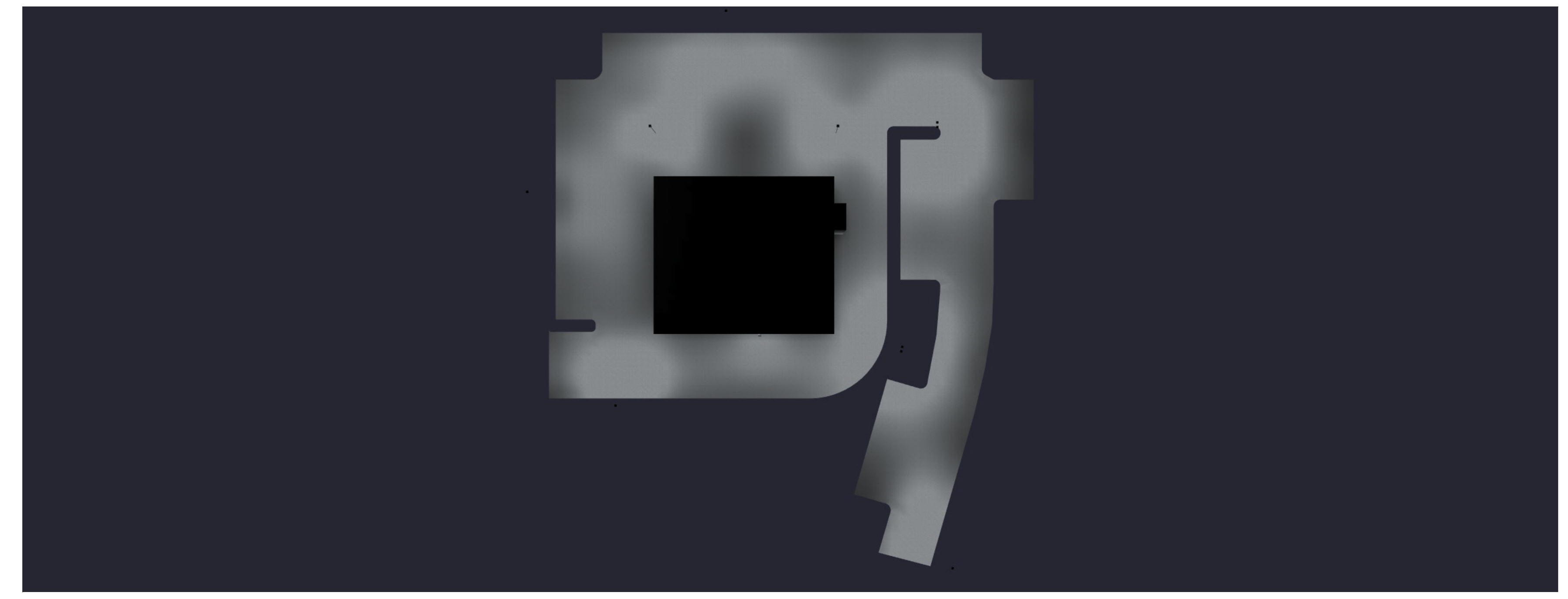
SITE CONSTRUCTION DETAILS 4

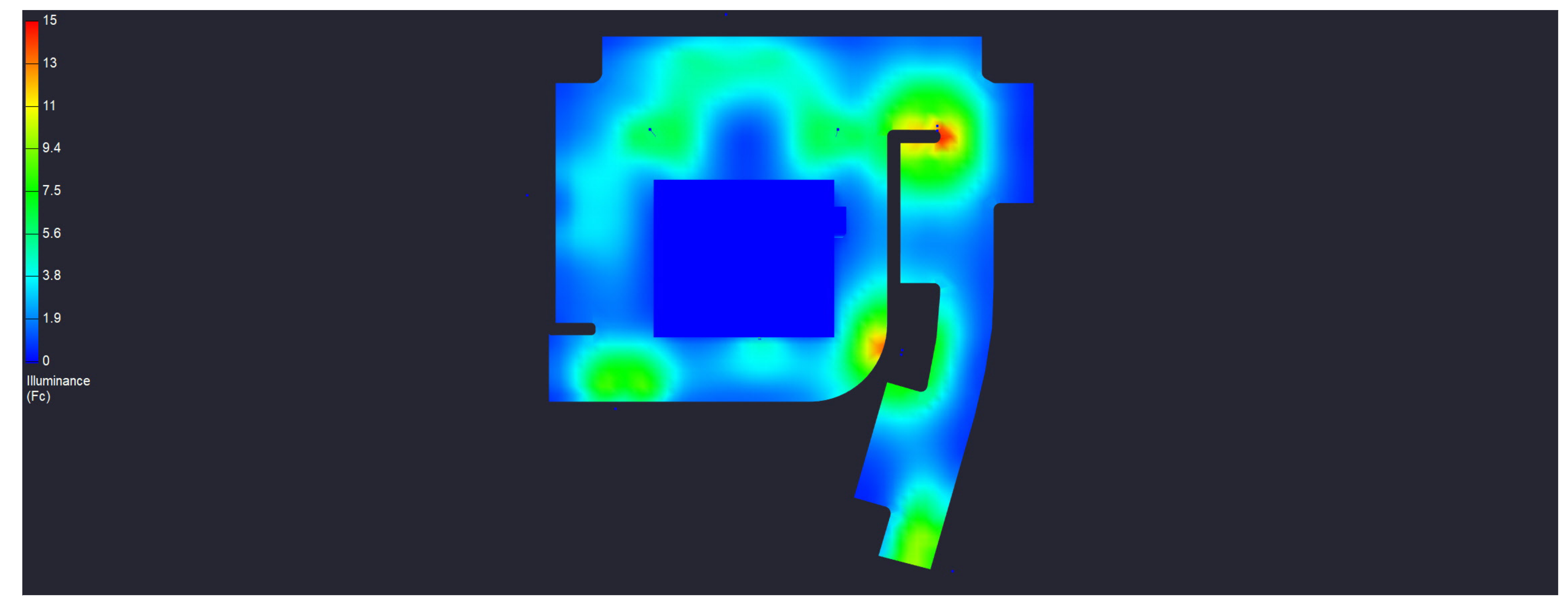
Drawing No.

C-8

Proj. No.	Sheet
XXX	8 of 8







Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	2	PTFT	Single	MPP-LED-10L-SIL-FT-40-70CRI	0.900	10817	67	134
	1	S2-1	Single	MRM-LED-18L-SIL-2-40-70CRI-IL	0.900	11746	135	135
	2	S3-1	Single	MRM-LED-18L-SIL-3-40-70CRI-IL	0.900	13448	135	270
	1	S4-1	Single	MRS-LED-18L-SIL-4-40-70CRI-IL	0.900	11130	135	135
	2	S4-2	Back-Back	MRS-LED-18L-SIL-4-40-70CRI	0.900	18149	135	540
	1	W1	Single	XWS-LED-08L-SIL-FT-40-70CRI	0.900	8199	61	61

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.34	4.59	0.02	17.00	229.50
Site Calc Points	Illuminance	Fc	2.70	14.6	0.0	N.A.	N.A.

Luminaire Location Summary

LumNo	Label	Orient	Z
1	S3-1	0	25
3	S2-1	270	25
6	S4-2	270	15
13	S4-1	90	15
14	W1	270	15
15	S4-2	258.131	15
16	PTFT	180	12
17	PTFT	0	12
18	S3-1	165.095	15

EXPOSURE
LIGHTING — CONTROLS — ELECTRICAL

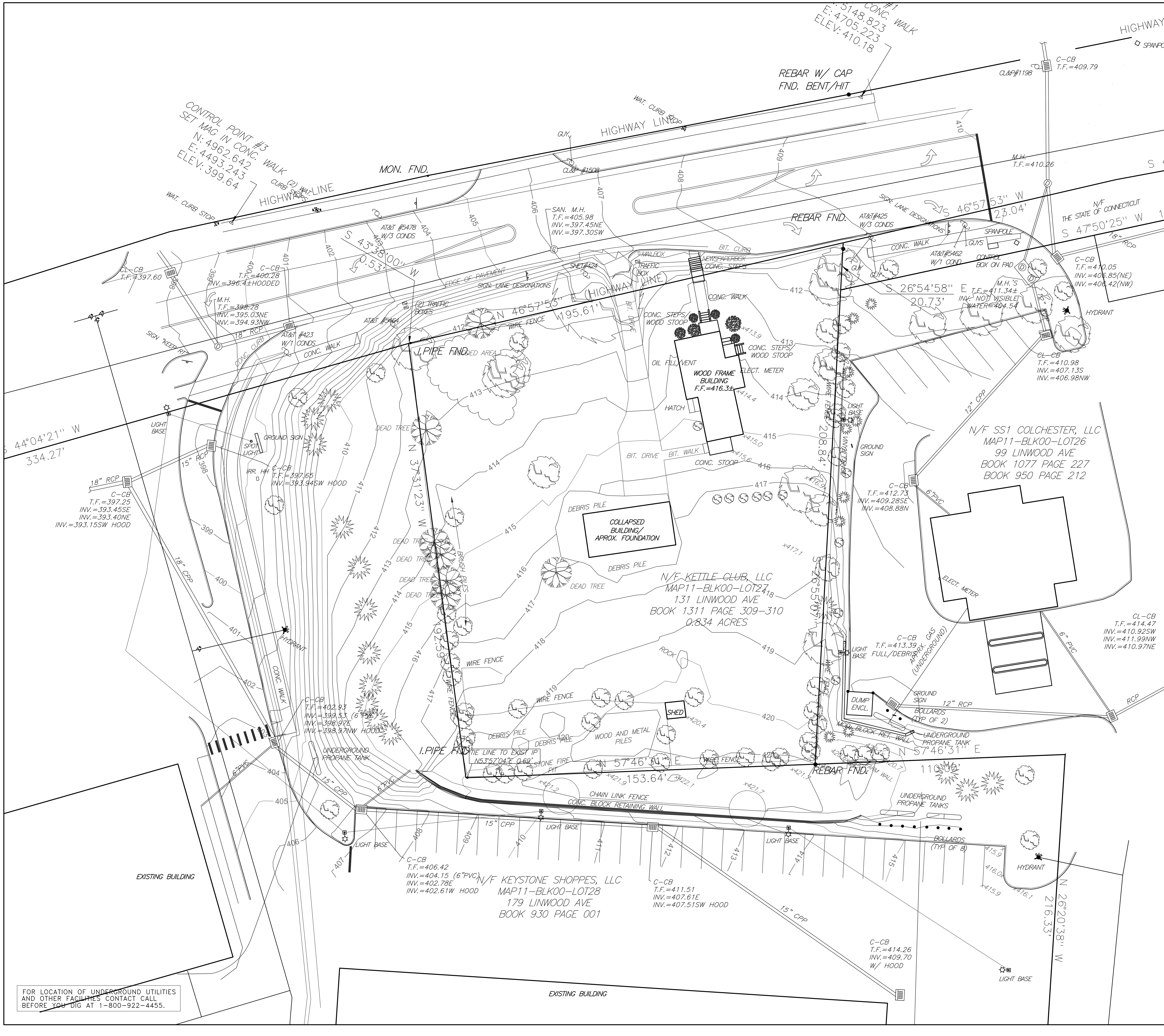
#	Date	Comments

Revisions

Drawn By: AH
Checked By:
Date:10/27/2023
Scale: NTS

131 Linwood Ave Site Lighting

Colchester, CT


HIGHWAY LINE
REBAR W/ CAP FND. BENT/HIT
CONTROL POINT #3 SET MAG IN CONC. WALK N: 4962.642 E: 4493.243 ELEV: 399.64
MON. FND.
REBAR FND.
S 49°27'28" W 66.60'
S 47°50'25" W 191.96'
N 33°42'30" W 10.08'
S 33°02'41" E 10.15'
S 26°54'58" E 20.73'
S 44°04'21" W 334.27'
N 46°57'53" E 195.61'
N/F THE STATE OF CONNECTICUT
SSI COLCHESTER, LLC DEFINED TRAFFIC EASEMENT
I.PIPE FND.
WOOD FRAME BUILDING F.F.=416.3±
COLLAPSED BUILDING/ APROX. FOUNDATION
N/F KETTLE CLUB, LLC MAP11-BLK00-LOT27 131 LINWOOD AVE BOOK 1311 PAGE 309-310 0.834 ACRES
N/F SS1 COLCHESTER, LLC MAP11-BLK00-LOT26 99 LINWOOD AVE BOOK 1077 PAGE 227 BOOK 950 PAGE 212
N/F KEYSTONE SHOPPES, LLC MAP11-BLK00-LOT28 179 LINWOOD AVE BOOK 930 PAGE 001
N 57°46'31" E 153.64'
N 26°20'38" W 216.33'
EXISTING BUILDING
EXISTING BUILDING
FOR LOCATION OF UNDERGROUND UTILITIES AND OTHER FACILITIES CONTACT CALL BEFORE YOU DIG AT 1-800-922-4455.

MAP REFERENCES

1. CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF COLCHESTER, COMSTOCK BRIDGE-COLCHESTER ROAD. FROM EAST HAMPTON TOWN LINE TO COLCHESTER CENTER, ROUTE NO. 16. MAP NUMBER 28-04, SHEETS 10 AND 11 OF 11 SHEETS, DATED 1-31-1936.
2. BOUNDARY SURVEY, TOWN OF COLCHESTER, MAP SHOWING LAND ACQUIRED FROM S.S. PROPERTIES ASSOCIATES I. BY THE STATE OF CONNECTICUT, CONN. ROUTE 16., DATED SEP, 2004
3. PROPERTY SURVEY, 179 LINWOOD AVENUE, COLCHESTER, CT, PREPARED FOR KEYSTONE SHOPPES, LLC. DATED FEBRUARY 10, 2005. MAP#2503 OF THE COLCHESTER LAND RECORDS.
4. EASEMENT MAP SURVEY, TOWN OF COLCHESTER, MAP SHOWING EASEMENT ACQUIRED FROM SSI COLCHESTER, LLC BY THE STATE OF CONNECTICUT, LINWOOD AVENUE-CONN. ROUTE 16. DATED OCTOBER 5, 2007 AND REVISED JANUARY 14, 2008.
5. AS-BUILT SURVEY, 179 LINWOOD AVENUE, COLCHESTER, CT, PREPARED FOR KEYSTONE SHOPPES, LLC. DATED SEPTEMBER 18, 2008 REVISED SEPTEMBER 16, 2009. SHEETS 1 AND 2 OF 2.
6. PIERPONT PLAZA EXPANSION, PREPARED FOR SSI COLCHESTER, LLC, LOT LINE ADJUSTMENT PLAN, 99LINWOOD AVE AND 160 S. MAIN ST. COLCHESTER, CT. DATED JANUARY 30, 2009, REVISED JANUARY 28, 2010.

NOTES

1. THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PROPERTY SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED TO DEPICT, BOUNDARY DETERMINATION/OPINION IS BASED ON FIELD EVIDENCE AND RECORD RESEARCH. IT IS A TOPOGRAPHIC SURVEY CONFORMING TO VERTICAL ACCURACY CLASS T-2.
2. ELEVATIONS DEPICTED HEREON ARE REFER TO MAP REFERENCE #5
3. THE HORIZONTAL COORDINATES DEPICTED HEREON REFER TO THE BEARINGS FROM MAP REFERENCE #5, THE COORDINATES ARE ASSUMED.
4. THE LOCATION OF UNDERGROUND UTILITIES DEPICTED HEREON ARE BASED ON FIELD LOCATIONS OF VISABLE UTILITIES, UTILITY PAINT MARKINGS AND INFORMATION PROVIDED BY OTHERS, THEIR TRUE LOCATION MAY VARY FROM THOSE INDICATED AND ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. IF APPLICABLE, UTILIZE THE "CALL BEFORE YOU DIG" NUMBER 1-800-922-4455 TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

DEED REFERENCES

LOT 27: 131 LINWOOD AVENUE, STATUTORY EXECUTOR'S AND WARRANTY DEED - SURVIVORSHIP, BOOK1311 PAGES 309-310
ABUTTOR LOT 26: 99 LINWOOD & 160 SOUTH MAIN STREET, CERTIFICATE OF CHANGE OF NAME OR STATUS, BOOK 950 PAGES 212-214 AND STATUTORY FORM WARRANTY DEED BOOK 1077 PAGES 227-228
ABUTTOR LOT 28: 179 LINWOOD AVENUE, TRUSTEES' DEED BOOK 930 PAGES 001-003

0 20 40 60
1" = 20'

NO.	DATE	DESCRIPTION	BY

NOT VALID WITHOUT THE EMBOSSED SEAL OF THE LAND SURVEYOR AFFIXED HEREON

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

PHILIP J. O'BRIEN L.S. #14196

PREPARED BY:
O'BRIEN ASSOCIATES, INC.
83 MOUNTAIN LAUREL DRIVE
MIDDLETOWN, CT 06457
P:860-345-7511

SCALE	DATE	FILE	SHEET
1" = 20'	JUNE 5, 2017	3497	1 OF 1

BOUNDARY AND TOPOGRAPHIC SURVEY
SHOWING
131 LINWOOD AVENUE-CONN. ROUTE 16
PREPARED FOR GALAXY DEVELOPMENT
COLCHESTER, CONNECTICUT

Review #1

Town of Colchester, Connecticut

127 Norwich Avenue, Colchester, Connecticut 06415

November 1, 2023

To: Colchester Planning & Zoning Commission

From: Salvatore Tassone P.E. – Town Engineer

Re: Site Plan for Proposed Commercial Development, 131 Linwood Avenue, Colchester, CT. prepared for Galaxy Development, LLC, by MidPoint Engineering Consulting, latest date October 10/12/2023.

1) Plans need to be signed and stamped by all professional preparers including P.E. and L.S.
2) Sheet C-1 Demolition Note #5 refers to a March 11, 2011 GSI Engineering Report. Is this pertinent to this project or is this an erroneous reference?
3) Sheet C-1 Demolition Note #10 erroneously refers to sheet C-6 for E&S controls.
4) The Zoning Summary chart on sheet C-2 appears to show an erroneous number of required parking spaces (251). This chart also indicates Total Parking provided is 47 spaces, however; the site plan shows 54 total spaces.
5) The Layout and Materials Note #2 on sheet C-2 refers to striped loading spaces. Where are these located?
6) The proposed property line shown on sheet C-2 will necessitate cross easements between the impacted land parcels. Need to depict all proposed easement limits and indicate purpose of easements on plans.
7) Should provide concrete sidewalk along the Linwood Avenue/Rte. 16 parcel frontage to connect existing sidewalks at both ends of site frontage.
8) As discussed at the pre-development meeting, need to obtain State Traffic Commission (STC) approval for proposed site expansion. Provide copy of STC approval to Town.
9) As discussed at the pre-development meeting, required one-way drive aisle adjacent to the proposed Drive through lane is 15 feet and the drive through lane should be a minimum of 12 feet.
10) Should show the maximum number of vehicle stacking spaces within the drive through lane.
11) Sheet C-3 and C-4 Note #21 erroneously refers to "The City of Worcester Standards".
12) Plans should note that all proposed work within the State's Right of Way for Linwood Avenue/Rte. 16 will require approval and encroachment permits from Connecticut DOT.
13) Need to provide construction detail for proposed Water Quality Unit (WQU-1) shown on sheet C-3.
14) Need to provide top and bottom of wall elevations for proposed retaining wall shown along North/West sides of site. Also show proposed grading/contours on both sides of wall. Indicate type of wall and provide wall design/construction details.

15) Show proposed grading/contours west of proposed trash enclosure area.
16) Show work required to close off existing Linwood Avenue access drive.
17) Need to label all proposed subsurface infiltration system inlet and outlet pipe sizes on sheet C-4.
18) Need to show limits of proposed road cut for sanitary sewer connection on Linwood Avenue/Rte.16 and provide a pavement repair detail per Conn. DOT specifications.
19) The Minimum storm drain pipe diameter per town zoning regulations is 15". Sheet C-4 shows all 12" diameter piping.
20) Based on the proposed access drive onto abutting parcel 179 Linwood Avenue, 9 spaces will be eliminated. How will this impact parking space requirements for the existing site development at 179 Linwood Avenue? Will it create a zoning nonconformance for the existing site?
21) Need to provide a pervious pavement construction detail.
22) Need to provide a concrete sidewalk detail to meet town specifications.
23) The HMA Pavement (On-Site) Detail on sheet C-5 does not comply with minimum town specifications relative to required gravel layers. Need minimum 8" processed gravel subgrade meeting DOT M.02.06 gradation B specification and 4" minimum processed aggregate base meeting DOT M.05.01 specifications.
24) All proposed catch basins appear to be curb inlet Type C; however, sheet C-6 shows a type C-L CB detail. Need to provide correct detail. Also indicate manufacturer's specification for proposed Hood to be placed over outlet pipes in catch basins.
25) Based on proposed elevations shown on grading plan sheet C-3, it appears that the "Max F.G. =418.50" shown on sheet C-7 underground chamber system detail is erroneous.
26) Provide on-site bench mark elevation for site topography.
27) The Stormwater Management Report provides analysis for pre and post development 2, 10 and 100 year rainfall events. The Town's regulations require analysis of the 2, 10, 25, 50 and 100 year rainfall events. The proposed conditions summary section of this report (paragraph 2) indicates that "25 % of the parking area will be constructed with pervious **compacted gravel". It should say 'with pervious pavement".**
28) Provide construction detail of how the existing concrete block retaining wall along the South side of the lot is to be adjusted relative to proposed elevations and show the required fence all the revised top of wall if the new wall height will exceed 3 feet in height.

Demian Sorrentino

From: Joseph Leone
Sent: Monday, November 6, 2023 11:41 AM
To: Stacey Churchill
Cc: Guthrie Dinda; Phil Gaudette; Sal Tassone; Demian Sorrentino
Subject: Sewer and Water Comments for 131 Linwood Ave
Attachments: sewer_and_water_rates_2022.pdf; Water Dept Approved Products and Vendors.pdf; Colchester Water Standard Details.pdf; Colchester Water Dept. Specs..pdf

Stacey,

I have reviewed the plans for 131 Linwood Ave date 10/12/23, received by the planning and zoning department on 10/30/23. The comments from Public Works are as follows:

- Please show the domestic and fire service waterlines and connection on the planset.
- Only two GIT's are shown on the planset, please clarify there is no intent to have a 3rd restaurant at this location.
- All work must be completed per Town of Colchester Water Department specification & details, using approved materials. All connections at the main above 2" are to be cut in with a tee and triple gated using approved materials. Also attached are the fees associated with connecting to our utility. The cost material and labor for us to install the water lines, valves, and meters will be charged to you in addition of the water connection fee. It is the responsibility and obligation of the designer and owner of the planset, to ask and receive answers and clarifications for any questions or ambiguity of the attached information prior to sending their project out to bid. The Town of Colchester or the Colchester Water Department will not be held liable or financially responsible for any schedule impacts, damage, or additional project costs resulting from the failure to adhere to this written request of our department.
- Please provide a concrete sidewalk along RT 16 throughout the property frontage.
- Please provide ADA compliant pedestrian access to from concrete walkways to parking lot.

I would prefer receiving these digitally that way I can mark up the actual planset and it can serve as a record to mitigate risk during construction.

Thanks!

Joe

Joseph Leone, EIT, M.Ed
Director of Public Works
127 Norwich Ave, Colchester CT, 06415
Direct: (860) 537-7286

Demian Sorrentino

From: Stacey Churchill
Sent: Wednesday, November 29, 2023 3:37 PM
To: Demian Sorrentino
Subject: FW: PZC App Comments

Fire has no comments

From: Sean Shoemaker <firemarshal@colchesterct.gov>
Sent: Wednesday, November 29, 2023 3:30 PM
To: Stacey Churchill <schurchill@colchesterct.gov>; Joseph Leone <Jleone@ColchesterCT.gov>; Jason Nowosad <jnowosad@colchesterct.gov>
Subject: Re: PZC App Comments

Stacey,

The fire department has no issues with the plan as submitted.

Thanks,
Sean

Get Outlook for iOS

From: Stacey Churchill <schurchill@colchesterct.gov>
Sent: Wednesday, November 29, 2023 2:17:18 PM
To: Sean Shoemaker <firemarshal@colchesterct.gov>; Joseph Leone <Jleone@ColchesterCT.gov>; Jason Nowosad <jnowosad@colchesterct.gov>
Subject: PZC App Comments

Hi – If you have already done so, can you please turn in your comments about the Galaxy Development application for the proposed food service location? The public hearing is 12/6 and we need to relay comments to the applicant.

Thanks,
Stacey

Stacey Churchill
Land Use Assistant
Planning & Zoning Department
Town of Colchester
127 Norwich Ave
Colchester CT 06415
860.537.7278
schurchill@colchesterct.gov

Town of Colchester

Land Use Department
127 Norwich Ave, Suite 105
Colchester, CT 06415
www.colchesterct.gov

Demian Sorrentino, AICP, Planning Director
Stacey Churchill, Land Use Assistant
Isabelle Kisluk, Asst. Planner/ZEO
Daniel Hickey, Wetlands Agent
T: (860) 537-7278

DATE: November 30, 2023

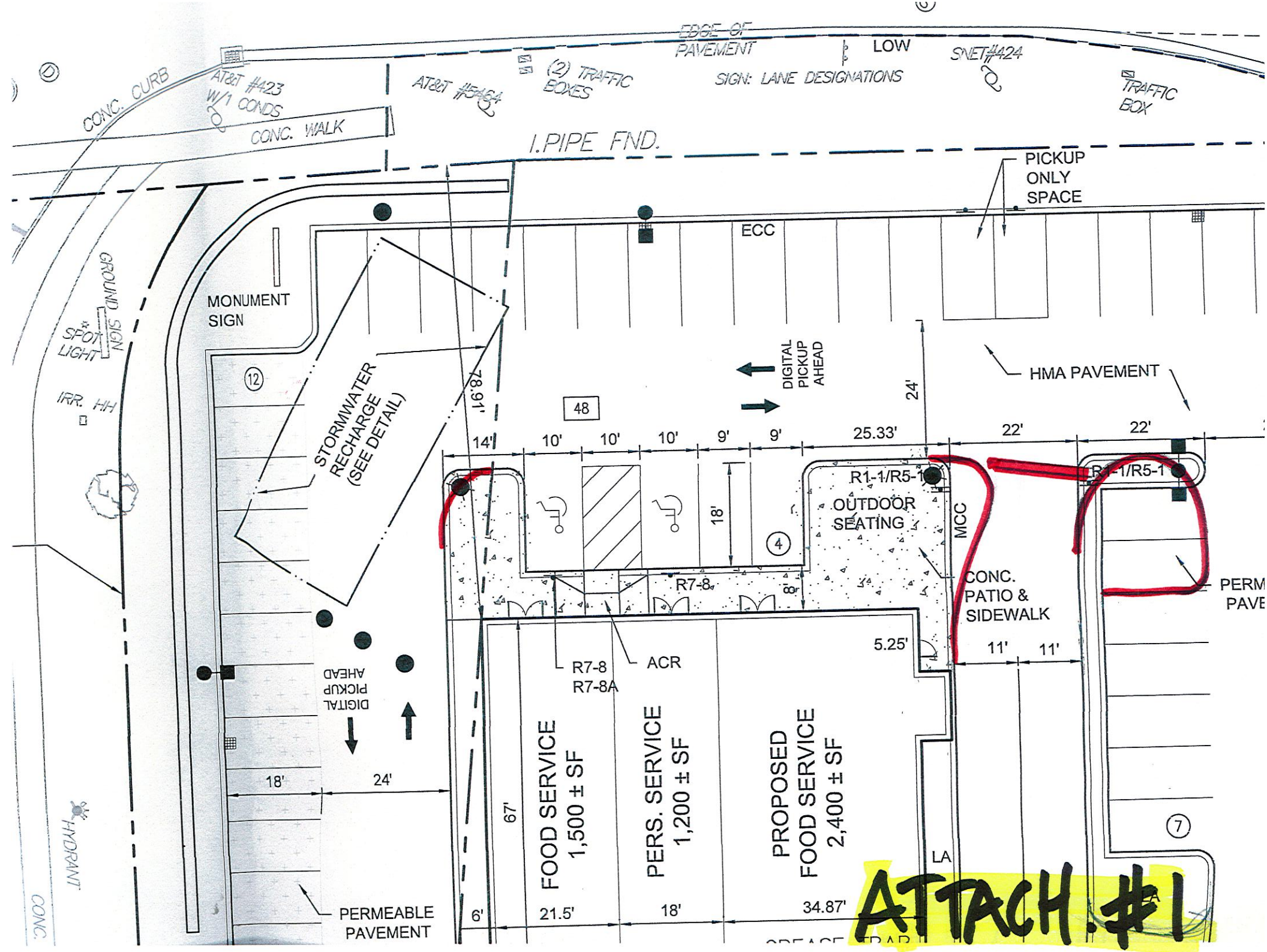
TO: Patrick P. Doherty, PE (Agent for Applicant/Owner)
Planning & Zoning Commission Membership

FROM: Demian A. Sorrentino, AICP, CSS, Planning Director

RE: **Application PZC2023-013 - Planning Director Review Comments #1**
Per Site Plans dated 10/12/23

1. Applicant to provide written authorization from Kettle Club, LLC allowing Galaxy Development, LLC to make application and authorization from both entities allowing Midpoint Engineering & Consulting, LLC to represent them before the Colchester P&ZC as requested on 10/30/23.
2. Applicant to submit statement of compliance with General Evaluation Criteria for Special Permits – specifically related to pick-up window. (Sec. 14.8)
3. Parking lot proposes 54 total spaces. 3 ADA spaces are required, of which 1 must be van accessible. Both standard accessible and van accessible parking spaces should be properly dimensioned in plan view and be identified with the currently required “dynamic logo”. Accessible parking space details for pavement markings and signs must depict both standard and van accessible spaces, required penalty signs, and utilize the currently required “dynamic logo” for all.
4. A painted stop bar should accompany the R1-1 stop sign at the project exit. Add construction detail to plan.
5. Assess potential traffic conflict between designated pick-up only spaces, entering vehicles, exiting vehicles, pick-up vehicles and by-pass vehicles. Consider relocating pick-up only spaces to those standard spaces directly in front of the building.
6. Pick-up and bypass lanes should be 12’ in width throughout, not 10-11’. Although these are one-way lanes, 15’ is excessive, 12’ is adequate. (Sec. 10.5.1.D)
7. Exit from pick-up lane and bypass lane should combine to one single lane and terminate at a stop sign and painted stop bar where it meets the primary access drive to minimize conflicts. Curvature should position cars as to facilitate the 180-degree turning movement required to exit the site. See Attachment #1 for sketch.
8. Curve radii for right turns from pick-up/bypass lane to exit site are too small. With 22’ from curb to curb, recommend 10’ and 12’ respectively, or some combination to allow free movement of traffic through the 180-degree turning movement. This will likely result in loss of 2 parking spaces and require relocation of the light pole. See Attachment #1 for sketch.
9. Radius on corner of sidewalk at northwesterly corner of building is too small. Recommend 8’ or 10’ to facilitate right turn movement required to exit. This will likely require relocation of the light pole. See Attachment #1 for sketch.

10. Concrete sidewalk must be constructed along the property frontage on Linwood Avenue to connect existing concrete sidewalks at northeast and southwest of project site. Add associated grading and associated construction details to plan.
11. Concrete sidewalk must be constructed from the existing sidewalk along the primary access drive into the site (possibly adjacent to the dumpster enclosure), and a painted crosswalk provided across the internal access drive on the project site. It appears this may have been started but left incomplete on the Site Plan.
12. Lighting Plan should be amended to indicate height and type of all fixtures. Max height of fixtures is 25' above proposed grade including the base. (Sec. 12.4.10)
13. All lighting fixtures shall be specified as full cut-off to minimize light trespass. (Sec. 12.4.1)
14. Applicant to provide catalog sheets for proposed lighting fixtures and poles and add specifications and details for all lighting fixtures to plan. (Sec. 12.3.1 & 12.3.2)
15. Applicant to review photometric plan for regulatory compliance and assign alternate locations, fixtures or pole heights to assure a maximum of 0.25 foot-candles at any property line and submit a revised Photometric Plan demonstrating compliance with this requirement. (Sec. 12.4.10.B)
16. Applicant to provide locations and details for all proposed building-mounted and free-standing signage, including construction materials and sign content. (Sec. 11.0)
17. Applicant to provide a Landscaping Plan for the site including location, plant materials, quantities and size at installation. (Sec. 9.4 & 10.6)
18. Applicant to provide rack for bicycle parking and locking. (Sec. 10.7.1.A.4-6)
19. Per Public Act 22-25: "*On and after January 1, 2023, a municipality shall require each new construction of a commercial building or multiunit residential building with thirty or more designated parking spaces for cars or light duty trucks to include electric vehicle charging infrastructure that is capable of supporting level two electric vehicle charging stations or direct current fast charging stations in at least ten per cent of such parking spaces*." Applicant to designate 4 spaces within development for EV charging and depict associated infrastructure on the plan.
20. The Commission may require a report from a traffic engineer (Sec. 15.2). If the applicant does not intend to submit a traffic report, a statement from a traffic engineer that a traffic report is not warranted should be submitted.
21. As this site is part of an existing major traffic generator, proof of approval of modification to the existing Office of State Traffic Administration (OSTA) permit should be provided.
22. Applicant to address Town Engineer Review Comments #1 dated 11/1/23.
23. Applicant to address Public Works Director Comments dated 11/6/23.


EDGE OF PAVEMENT
LOW
SIGN: LANE DESIGNATIONS
SNET #424
TRAFFIC BOX
(2) TRAFFIC BOXES
AT&T #5464
AT&T #423 W/1 CONDS
CONC. CURB
CONC. WALK
I.PIPE FND.
PICKUP ONLY SPACE
ECC
MONUMENT SIGN
GROUND SIGN
SPOT LIGHT
IRR. HH
STORMWATER RECHARGE (SEE DETAIL)
78.91'
DIGITAL PICKUP AHEAD
HMA PAVEMENT
24'
14'
10'
10'
10'
9'
9'
25.33'
22'
22'
R1-1/R5-1
OUTDOOR SEATING
18'
MCC
CONC. PATIO & SIDEWALK
5.25'
11'
11'
R7-8
8'
R7-8
R7-8A
ACR
DIGITAL PICKUP AHEAD
18'
24'
67'
FOOD SERVICE 1,500 ± SF
PERS. SERVICE 1,200 ± SF
PROPOSED FOOD SERVICE 2,400 ± SF
PERMEABLE PAVEMENT
6'
21.5'
18'
34.87'
HYDRANT
CONC.
ATTACH. #1