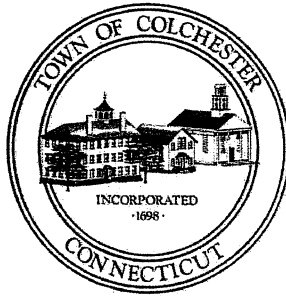


Town of Colchester

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**PLANNING & ZONING COMMISSION
REGULAR MEETING
Wednesday, May 15, 2024 – 7:00 PM
Town Hall Meeting Room
AGENDA**

RECEIVED
COLCHESTER, CT
2024 MAY 14 AM 8:39
PLANNING & ZONING COMMISSION

1. **Call to Order**
2. **Additions or Deletions to the Agenda**
3. **Minutes of Previous Meeting**
 - A. Regular Meeting 5/1/24
4. **Public Hearings**
 - A. **PZC 2024-003** of Anton Smith (Applicant) and Robia Kruse (Owner) – Zone Change to establish an Arterial Commercial (AC) District Overlay upon 5.5± acres of land located at 475 Parum Road (CT Route #354) (Assessor's ID 03-05/019-000). Zoning District: Rural Use (RU)
5. **Five Minute Session for the Public**
6. **Pending Applications**
 - A. **PZC 2024-003** of Anton Smith (Applicant) and Robia Kruse (Owner) – Zone Change to establish an Arterial Commercial (AC) District Overlay upon 5.5± acres of land located at 475 Parum Road (CT Route #354) (Assessor's ID 03-05/019-000). Zoning District: Rural Use (RU)
7. **New Applications**
 - A. **PZC 2024-007** of Lake Hayward Properties, LLC (Applicant/Owner) – Special Permit(s) and Site Plan Review for 195-unit multi-family residential development and a 5,000 SF retail sales/service development upon 19.16± acres of land located at 91 Lake Hayward Road (Assessor's ID 03-09-049-000). Zoning District: Suburban Use (SU) & Aquifer Protection Overlay Zone (APOZ)
 - B. **PZC 2024-008** of John Dalamagas (Applicant/Owner) – Special Permit for existing multi-tenant, mixed-use building to allow day care/nursery school and retail sales/service development (in Assessor's Building #2) upon 1.42± acres of land located at 76 Amston Road (CT Route #85) (Assessor's ID 15-00-019-000). Zoning District: Suburban Use (SU)
8. **Preliminary Reviews**
9. **Old Business**
10. **New Business**

(continued on next page)

11. Planning Issues and Discussions

- A. Plan of Conservation & Development Update – Community Survey Questions
- B. Zoning Enforcement Officer Report

12. Correspondence

13. Adjournment