

# *Town of Colchester, CT*

127 Norwich Avenue, Colchester, Connecticut 06415

PLANNING & ZONING COMMISSION

WEDNESDAY, February 16, 2022

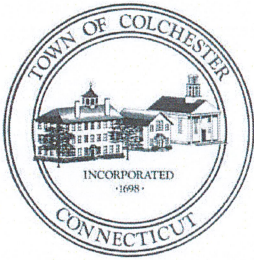
MEETING AT 7:00 P.M.

Virtual Meeting to be held via ZOOM. For a link to the ZOOM meeting please visit the Town of Colchester Public Meetings Calendar at [www.colchesterct.gov](http://www.colchesterct.gov)

## AGENDA

1. **Call to Order**
2. **Additions to the Agenda**
3. **Minutes of Previous Meeting**
  - a. February 2, 2022
4. **Public Hearings**
5. **Five Minute Session for the Public**
6. **Pending Applications**
7. **New Applications**
  - a. MTB Properties LLC – 124 Halls Hill Rd – Zone Change (2022-002)
  - b. Marino Construction LLC – 19 Bigelow Rd - Resubdivision (2022-003)
8. **Preliminary Reviews**
9. **Old Business**
10. **New Business**
  - a. 76/96 Upton Rd LLC – 76 & 96 Upton Rd  
Site Plan (2022-001)
11. **Planning Issues and Discussions**
12. **Correspondence**
13. **Adjournment**

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# Town of Colchester, CT

127 Norwich Avenue, Colchester, Connecticut 06415

PLANNING & ZONING COMMISSION

WEDNESDAY, February 2, 2022

7:00 P.M.

Virtual Meeting held via ZOOM.

**Members Present:** Chairman J. Mathieu, B. Hayn, M. Kehoegreen, S. Smith, M. Noniewicz, S. Nadeau

**Absent:** Vice Chair J. Novak

**Others Present:** Planning Director M. Bordeaux, ZEO D. Schaub

## MINUTES

- 1) **Call to Order** – Chairman Mathieu called the meeting to order at 7:00 pm. He welcomed new commission member, Sean Nadeau, to the meeting.
- 2) **Additions to the Agenda** – None
- 3) **Minutes of Previous Meeting** January 19, 2022 – Motioned by M. Noniewicz to approve the minutes of January 19, 2022 as written. 2<sup>nd</sup> by M. Kehoegreen. *S. Nadeau abstained, all other members voted in favor, motion carried.*
- 4) **Public Hearings**
  - a) Niantic Bay Group LLC – 347 Cabin Rd – Resubdivision (2021-015) – Planning Director M. Bordeaux read the public notice. Chairman Mathieu asked if there was any public opposition to any of the commission members seated, hearing none, he asked for comments from staff. M. Bordeaux gave the commission an overview of the application. Previously approved as a subdivision with 6 building lots, the application is to resubdivide under Connecticut General Statute 8-30g for Affordable Housing. 30% of the proposed units will fall under the rules stated in the statute. The commission will determine if there are any substantial impacts to health and safety as a direct result of the construction of this subdivision. The Colchester Conservation Commission recently reviewed and approved an inland wetlands permit for regulated activity associated with this project. The Water & Sewer Commission reviewed the revised plans and determined that systems will be sufficient to support the development. Applicant, John Doran, introduced the application and the group in attendance speaking on behalf of his project. Gregg Fedus, Fedus Engineering, discussed revisions to the previously approved application. Attorney Ed Cassella discussed the CGS 8-30g and how it allows for higher density of homes than currently allowed per town zoning regulations. 30% of the homes will be deed restricted for 40 years and must remain in an “affordable” status. Four of the homes will be reserved for buyers earning 60% of the median income. Another four will be for buyers earning 80%. An independent administrator, DeMarco Management, will be hired to ensure compliance with Fair Housing Act advertising rules. There is a requirement for an HOA (homeowners association) to be created to develop rules and restrictions for the subdivision. The homes will be approximately 1,600 square feet with a one-car attached garage. Lot sizes are between 6,000 and 13,000 sq. ft. The anticipated sales price points will be \$250,000, \$350,000 and \$415,000. Scott Hesketh, traffic engineer, stated a study concluded that there will be no considerable increase in the traffic volume in the area and all nearby intersections should be able to accommodate the traffic. Chairman Mathieu invited members of the public to speak in favor of the application. Steve Coyle, Water & Sewer Commission chairman, stated the sewer main capacity is sufficient to support the houses. It will be maintained by the HOA. Chairman Mathieu then invited those to speak in opposition. 377 Cabin Rd resident, Linda Morley, spoke against the application and shared her concerns about additional traffic. Peter Demar, of 381 Cabin Rd, had concerns with the aesthetics of the house design. He felt

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they will look out of place in that area and encouraged enhanced designs. He also had concerns about the small sized lots. The applicant discussed the waiver that was requested for building sidewalks. It would represent an additional construction cost of around \$70,000. M. Bordeaux addressed a citizen question submitted asking if there were plans to connect to nearby David Dr. and confirmed there is no plan for any street connections with the proposed Jordan Lane. Originally proposed rain gardens have been changed to underground infiltration systems. All driveways and aprons will be paved. Fire hydrants will be placed according to recommendations from the Fire Marshal. Motion by M. Noniewicz to close the public hearing, 2<sup>nd</sup> by B. Hayn. *Vote was unanimous, motion carried, hearing closed.*

5) **Five Minute Session for the Public** – None

6) **Pending Applications** – None

7) **New Applications** –

- a) 76/96 Upton Rd LLC – 76 & 96 Upton Rd Site Plan (2022-001) – Application is for two parcels in the industrial park area on Upton Rd where a warehouse and processing facility are being proposed with a footprint of under 20,000 sq. ft.

8) **Preliminary Reviews** - None

9) **Old Business** - None

10) **New Business**

- a) Niantic Bay Group LLC – 347 Cabin Rd – Resubdivision (2021-015) – M. Noniewicz motioned to approve request to waive requirements for sidewalks on Jordan Lane for the Niantic Bay Group LLC, 347 Cabin Road, as the commission finds there is no plan for development of a pedestrian access system in the area, no existing network of pedestrian infrastructure to connect to or expand upon and there is no school within a mile of this location, 2<sup>nd</sup> by B. Hayn. *Vote was unanimous, motion carried.* M. Noniewicz motioned to approve the application of Niantic Bay Group LLC, 347 Cabin Road, Resubdivision 2021-015 for the proposed construction of twenty-four single family homes on twenty-four lots on approximately 6.61 acres in the Suburban Use District with the following condition; 1.) relocate the fire hydrant at the end of Jordan Lane in accordance with the Fire Marshal's direction. This application is consistent with the provisions of Connecticut General Statute 8-30g Connecticut Affordable Land Use Appeals Procedure and no substantial public interest in health or safety outweigh the need for affordable housing, 2<sup>nd</sup> by B. Hayn. *Vote was unanimous, motion carried.*

11) **Planning Issues and Discussions** – None

12) **Correspondence** – M. Bordeaux spoke of the annual meeting for the CT Federation of Planning and Zoning Agencies. M. Noniewicz spoke of the passing of previous commission member, Jim Ford.

13) **Adjournment** – Motion by B. Hayn to adjourn, 2<sup>nd</sup> M. Noniewicz. *Vote was unanimous, motion carried, meeting adjourned at 8:40 pm.*

Respectfully Submitted By,

Stacey Kilgus, Clerk

**TOWN OF COLCHESTER  
PLANNING AND ZONING DEPARTMENT**

**TO:** Planning and Zoning Commission

**FROM:** Matthew R. Bordeaux, Planning Director *MRB*

**DATE:** February 14, 2022

**RE:** 76/96 Upton Rd LLC (InCord) – 76 & 96 Upton Road  
Site Plan (2022-001)

***Introduction***

The applicant is proposing to construct a warehouse and processing facility on approximately 2.5 acres at 76 and 96 Upton Road in the Arterial Commercial District. The use is permitted pursuant to Section 7.2.6 of the Colchester Land Development Regulations, which states that “Light industrial use under 20,000 square feet” is a permitted use in the district. 76 and 96 Upton Road are located in a business park on the west side of Old Hartford Road, east of State Route 2 (Rt. 2). There are approximately 0.35 acres of regulated inland wetlands associated with a small watercourse that traverses the business park, conveying stormwater in a southwesterly direction toward the low-lying system located adjacent to Rt. 2. The site is not located in any zones regulating aquifer protection or special flood hazards.

InCord is a major supplier of custom safety netting and rope to the material handling and construction industry and other commercial and recreational marketplaces. The proposed warehouse and processing facility would expand InCord’s existing presence in the Upton Road business park. InCord’s principal offices are located at 226 Upton Road and a recently expanded testing facility is located at 181 Upton Road.

***Project Description***

The proposed development will consist of a new building with a 19,200 square foot footprint, including a single-story warehouse space, and a two-story processing area with office space, intended for light industrial use. The improvements will include a loading dock for two (2) vehicles, as well as 56 parking spaces; eight (8) spaces will be provided to satisfy the requirements for the warehouse space and 48 for the light industrial portion of the building.

InCord anticipates adding 25 employees in the new facility the first year of operation. The number of employees is anticipated to increase to 50 when the facility is fully operational.

## **Traffic**

As stated above, the applicant anticipates a maximum of 50 employees that will work one shift from 6:30 a.m. to 5:00 p.m. The facility is anticipated to generate a maximum of six (6) visitors each day, but at times that are unlikely to conflict with the peak rush hour. The 6:30 a.m. start time is slightly before the peak rush hour traffic and therefore anticipated to limit the impact on the morning rush hour. The applicant further states that the departures times will range from 3 p.m. to 5 p.m. and should also limit the impact on the evening rush hour traffic.

## **Stormwater**

The stormwater management plan has been designed to provide for zero increase in peak stormwater discharge from the site. Stormwater will be collected from impervious surfaces and conveyed to a variety of treatment and storage facilities including a sediment forebay and water quality basin, and a subsurface infiltration system.

The subject area consists of three (3) existing drainage areas. The proposal will reconfigure the drainage into two (2) drainage areas made up of two (2) "sub-catchment" areas. Drainage Area 1A includes stormwater from the front parking area and along the loading docks behind the building. Stormwater runoff from these areas will flow through an oil-water separator before it leaves the site via an existing catch basin on Upton Road. Stormwater from the proposed building and rear access drive (Area 1B) will be conveyed to infiltration chambers used to store and treat the runoff.

Drainage Area 2A contains the northern parking lot and access drive. Stormwater will be directed to a sediment forebay and then a water quality basin. The balance of the site, Drainage Area 2B consists of undeveloped land that will be reduced from its original size and does not necessitate treatment.

The plans include porous asphalt where the parking stalls are proposed in accordance with Section 10.5.3 of the Regulations.

## **Regulated Resources**

The site includes .35 acres of regulated inland wetlands and .55 acres of regulated upland review area. Approximately .45 acres of the upland review area will be disturbed. There will be no direct impacts on the wetlands. The regulated area consists of a red maple swamp that receives overland drainage from abutting properties. Flows travel west, under Upton Road and into a drainage area along Rt. 2 that ultimately makes its way to Meadow Brook.

The Conservation Commission issued a wetlands permit (W2021-3069) on January 12, 2022 for regulated activity in the upland review area to construct a portion of the proposed building, parking area and drive aisle, and the stormwater quality basin.

### **Erosion and Sedimentation Control**

An erosion and sedimentation control plan was prepared in accordance with the 2002 CT Guidelines for Soil Erosion & Sedimentation Control. As depicted on Sheet No. 3 attached, the proposed stormwater quality basin has been designed to function as a sedimentation basin during construction. A temporary sediment basin will also be installed along the southwest property boundary. Temporary swales will be installed to divert stormwater runoff to the basins. An anti-tracking construction entrance will be installed and silt fence will be erected around the perimeter of the disturbed area to limit the migration of soil from the site.

### **Other Improvements**

The facility will be connected to public water and sewer utilities located in Upton Road. InCord's processes do not require or generate notable water or wastewater so the services will be limited to employee usage.

The proposed development will not include the use, handling, storage or disposal of hazardous materials as a principal activity.

Site lighting has been designed to prevent objectionable light trespass at the property lines. All lighting will be full cut-off, LED light fixtures. Parking lot lighting will be provided by 20-foot-tall poles and a handful of wall packs will be located a maximum 10 feet above grade. An isodiagram, consistent with the Maintained Horizontal Illuminance Recommendations, has been provided.

The applicant is not proposing to install sidewalks along Upton Road as there are presently none located anywhere else in the business park. The applicant is proposing to install a 4' wide sidewalk adjacent to the building to direct employees and visitors to the building entrance once they have entered the parking area.

Finally, a free-standing sign is proposed to be located north of the site entrance along Upton Rd. The ground-mounted sign will conform to the zoning regulations Section 11.

### ***Staff Review***

Town staff has reviewed plans and documents provided with this proposal and requested some minor modifications. A report of any outstanding comments will be provided at the meeting.

### ***Draft Motion***

Move to approve the Site Plan Application (2022-001) from 76/96 Upton Rd LLC for the development of a 19,200 square foot warehouse and processing facility on approximately 2.5 acres at 76 and 96 Upton Road (MBL 09-00/008-014 and 09-00-008-015) in the Arterial Commercial District.

MRB

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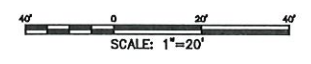
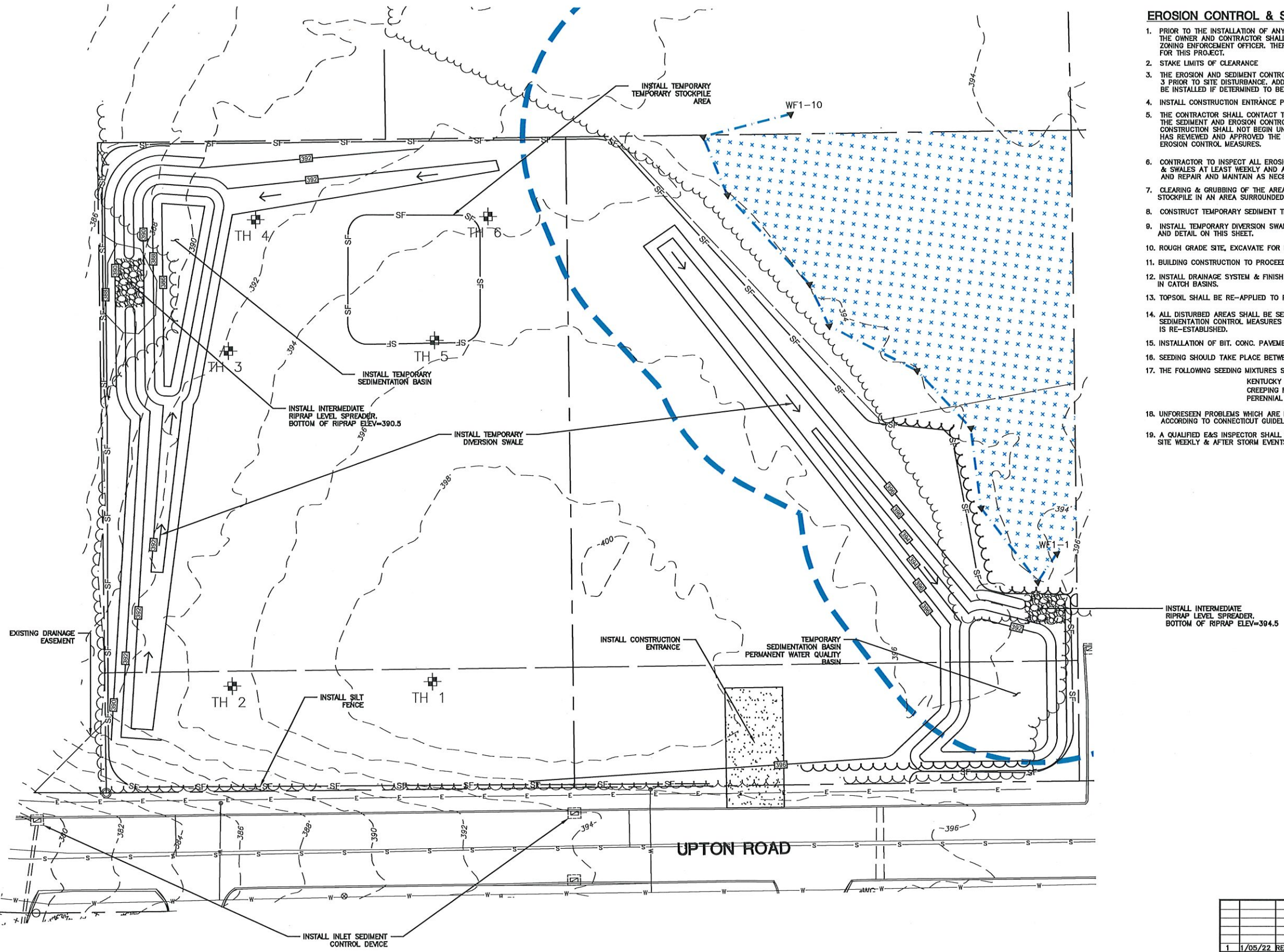
Attach.



### EROSION CONTROL & SEDIMENTATION NARRATIVE

1. PRIOR TO THE INSTALLATION OF ANY EROSION AND SEDIMENT CONTROL MEASURES, THE OWNER AND CONTRACTOR SHALL MEET WITH THE TOWN OF COLCHESTER ZONING ENFORCEMENT OFFICER. THERE ARE 1.95 ACRES OF DISTURBANCE PROPOSED FOR THIS PROJECT.
2. STAKE LIMITS OF CLEARANCE
3. THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON SHEET 3 PRIOR TO SITE DISTURBANCE. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED TO BE NECESSARY BY THE ZONING ENFORCEMENT OFFICER.
4. INSTALL CONSTRUCTION ENTRANCE PER DETAIL.
5. THE CONTRACTOR SHALL CONTACT THE ZONING ENFORCEMENT OFFICER FOR INSPECTION OF THE SEDIMENT AND EROSION CONTROL MEASURES, PRIOR TO SITE DISTURBANCE. CONSTRUCTION SHALL NOT BEGIN UNTIL SUCH TIME AS THE ZONING ENFORCEMENT OFFICER HAS REVIEWED AND APPROVED THE INSTALLATION OF THE SEDIMENTATION AND EROSION CONTROL MEASURES.
6. CONTRACTOR TO INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES & SWALES AT LEAST WEEKLY AND AFTER EVERY STORM EVENT AND REPAIR AND MAINTAIN AS NECESSARY.
7. CLEARING & GRUBBING OF THE AREA TO BE GRADED. TOPSOIL TO BE REMOVED & STOCKPILE IN AN AREA SURROUNDED WITH SILTFENCE.
8. CONSTRUCT TEMPORARY SEDIMENT TRAPS PRIOR TO ROUGH GRADING OF THE SITE.
9. INSTALL TEMPORARY DIVERSION SWALES AS SHOWN ON SHEET 3 AND DETAIL ON THIS SHEET.
10. ROUGH GRADE SITE, EXCAVATE FOR BUILDING FOOTINGS, INSTALL UTILITIES.
11. BUILDING CONSTRUCTION TO PROCEED.
12. INSTALL DRAINAGE SYSTEM & FINISH GRADING. INSTALL INLET SEDIMENT CONTROL DEVICES IN CATCH BASINS.
13. TOPSOIL SHALL BE RE-APPLIED TO PROVIDE A MINIMUM DEPTH OF FOUR INCHES.
14. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS RE-ESTABLISHED.
15. INSTALLATION OF BIT. CONG. PAVEMENT
16. SEEDING SHOULD TAKE PLACE BETWEEN APRIL 1 AND JUNE 1 OR AUGUST 15 AND OCTOBER 1.
17. THE FOLLOWING SEEDING MIXTURES SHALL BE PROVIDED ON ALL DISTURBED AREAS.
 

KENTUCKY BLUE GRASS	20 LB <sup>2</sup> /AC
CREeping RED FESCUE	20 LB <sup>2</sup> /AC
PERENNIAL RYEGRASS	5 LB <sup>2</sup> /AC
18. UNFORESEEN PROBLEMS WHICH ARE ENCOUNTERED IN THE FIELD SHALL BE SOLVED ACCORDING TO CONNECTICUT GUIDELINES FOR SOIL AND SEDIMENT CONTROL.
19. A QUALIFIED E&S INSPECTOR SHALL BE HIRED TO INSPECT THE SITE WEEKLY & AFTER STORM EVENTS DURING CONSTRUCTION.



<b>CLA Engineers, Inc.</b> CIVIL • STRUCTURAL • SURVEYING		317 Main Street Norwich, CT 06360 (860) 886-1986 Fax (860) 886-9166
	78 & 96 UPTON RD, COLCHESTER, CT	Project No. CLA-6982
<b>INCORD</b> 76 & 96 UPTON RD		Proj. Engineer E.M.B.
EROSION & SEDIMENT CONTROL PLAN		Date: NOV. 2021
		Sheet No. <b>3</b>

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**ZONING COMPLIANCE CHART  
ZONE ARTERIAL COMMERCIAL USE**

ITEM	REQUIRED	PROVIDED
MINIMUM LOT SIZE	40,000 S.F.	109,350 S.F.
MINIMUM FRONTAGE	150 FT.	405 S.F.
FRONT YARD SETBACK	50 FT.	73 FT.
SIDE YARD SETBACK	0/75 FT.	42 FT.
MAX. BUILDING HEIGHT	35 FT.	33 FT.
MAX. IMPERVIOUS COVER	80%	57.7%
BUILDABLE AREA	30,000 S.F.	90,000 S.F.

**PARKING CALCULATIONS:**

WAREHOUSE  
7,440 S.F. • 1 SPACE/1,000 S.F. = 7.44 SPACES

LIGHT INDUSTRIAL  
23,520 S.F. • 2 SPACES/1,000 S.F. = 47.04 SPACES

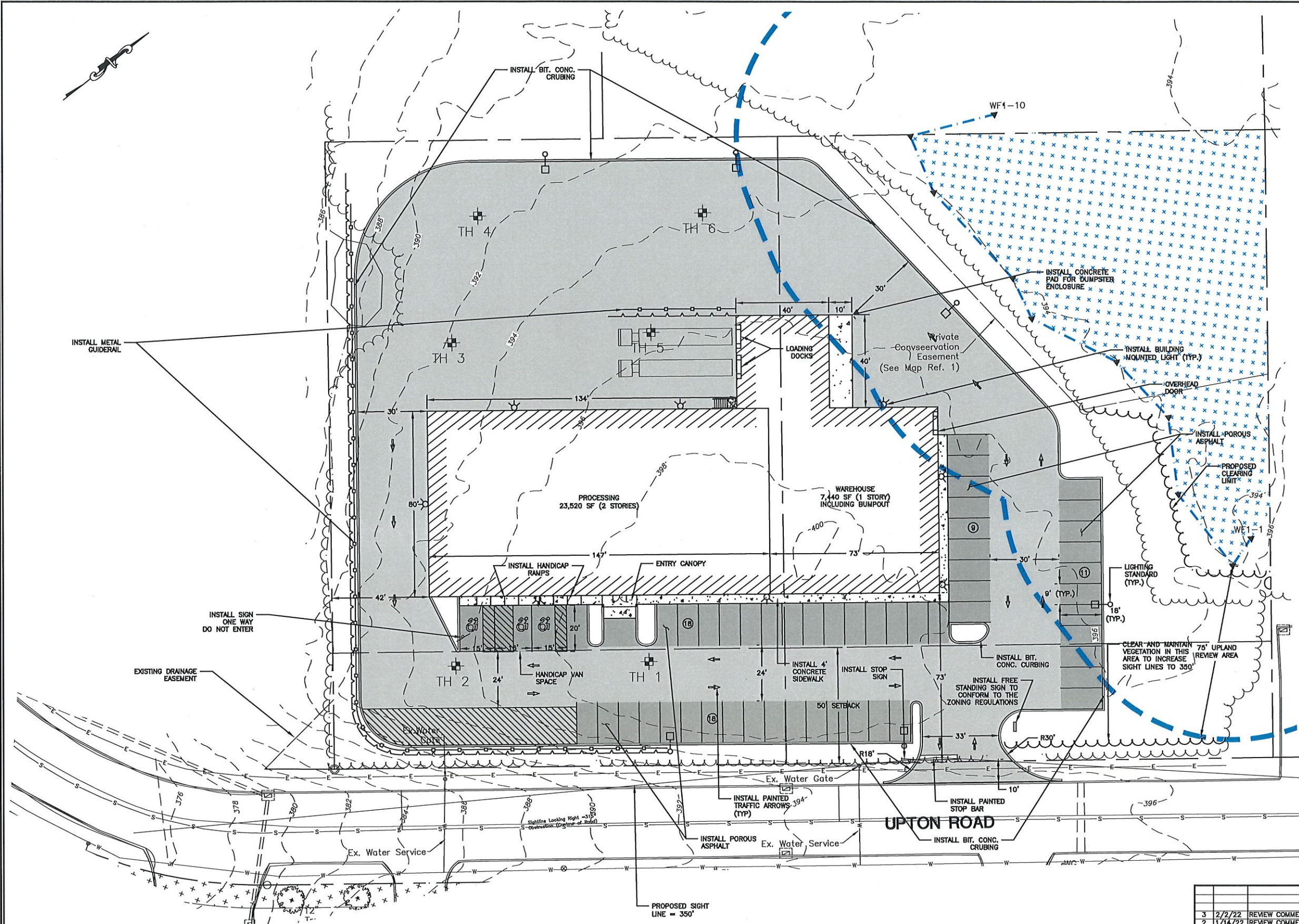
56 PARKING SPACES REQUIRED AND PROVIDED

**NOTES:**

1. 76 & 96 UPTON ROAD ARE TO BE COMBINED INTO ONE LOT.

**LEGEND**

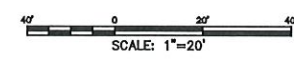
- PROPERTY LINE
- - - EASEMENT
- ==== DRAINAGE
- W WATER
- S SEWER
- G GAS
- T UNDERGROUND TEL/COM CONDUIT
- E UNDERGROUND ELECTRIC CONDUIT
- TREE LINE
- ▲ INLAND WETLANDS
- - - SET BACK LINE
- - - WETLAND BUFFER
- ⊙ SEWER MANHOLE
- ⊙ GAS GATE, WATER GATE
- ⊙ LAMP
- BOLLARD
- ⊙ CATCH BASIN
- ⊙ FIRE HYDRANT
- METAL GUIDERAIL
- RETAINING WALL
- IRON PIN, IRON PIPE
- ⊙ GAS GATE, WATER GATE
- ⊙ TRAFFIC SIGN
- ⊙ UTILITY POLE
- U.G. UNDER GROUND
- ⊙ DECIDUOUS TREE
- OH OVERHEAD ELECTRIC LINE
- ⊙ WATER SHUTOFF
- BOLLARD



No.	DATE	REVISION
3	2/2/22	REVIEW COMMENTS
2	1/14/22	REVIEW COMMENTS
1	1/05/22	REVIEW COMMENTS

**CLA Engineers, Inc.**  
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317 Main Street Norwich, CT 06360  
(860) 886-1986 Fax (860) 886-9165

76 & 96 UPTON RD, COLCHESTER, CT		Project No. CLA-6982
<b>INCORD</b> <b>76 &amp; 96 UPTON RD</b>		Prof. Engineer E.M.B.
		Date: NOV. 2021
SITE PLAN		Sheet No. <b>2</b>

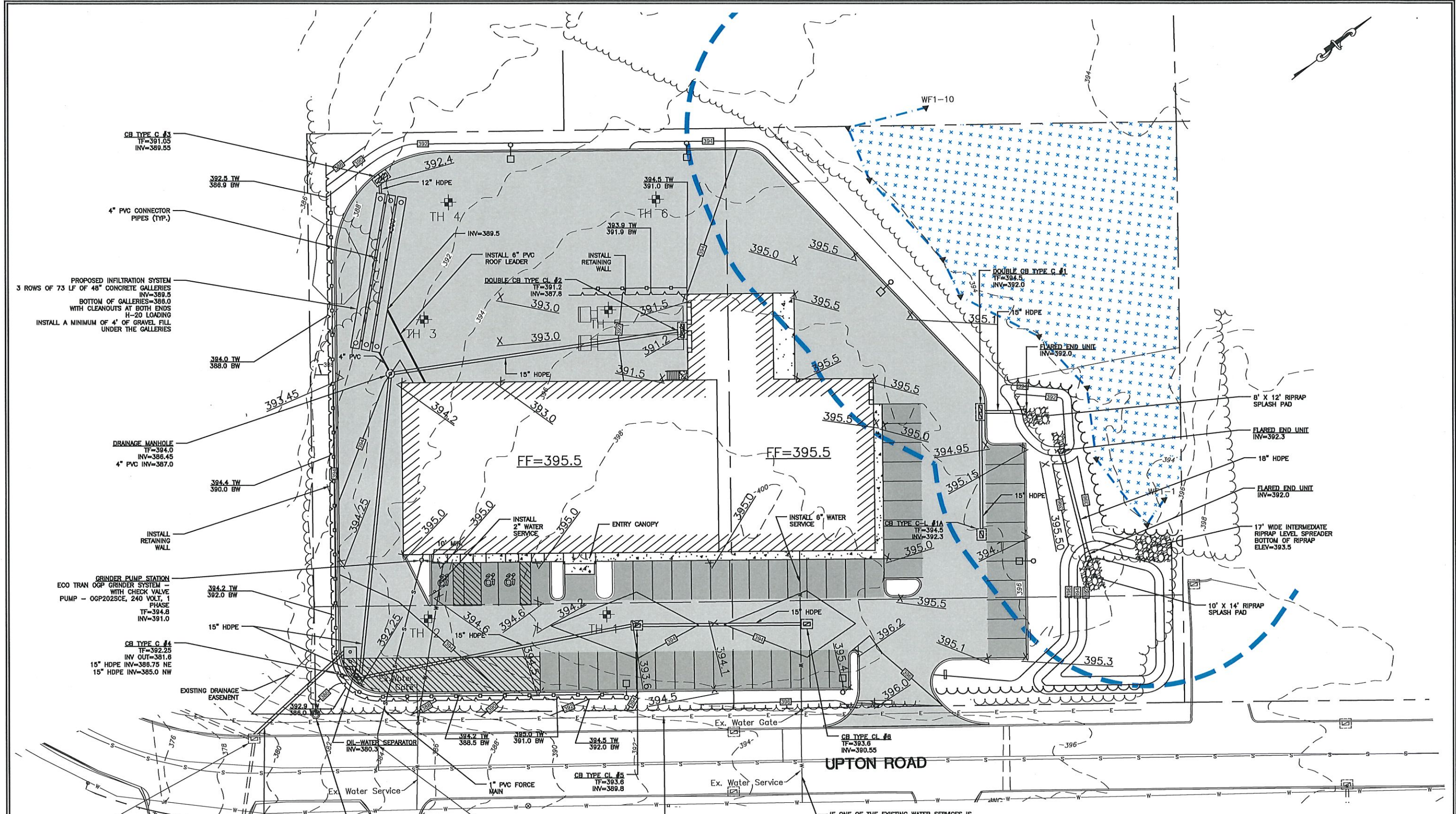


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PROPOSED INFILTRATION SYSTEM  
3 ROWS OF 73 LF OF 48" CONCRETE GALLERIES  
INV=389.5  
BOTTOM OF GALLERIES=386.0  
WITH CLEANOUTS AT BOTH ENDS  
H-20 LOADING  
INSTALL A MINIMUM OF 4" OF GRAVEL FILL  
UNDER THE GALLERIES

GRINDER PUMP STATION  
ECO TRAN OGP GRINDER SYSTEM -  
WITH CHECK VALVE  
PUMP - OGP2025CE, 240 VOLT, 1  
PHASE  
TF=394.6  
INV=391.0

EXIST. CB TYPE C  
TF=379.0  
INV=374.7  
INV=374.5  
INV=376.0

IF ONE OF THE EXISTING WATER SERVICES IS NOT 6", FOR FIRE PROTECTION, THEN REPLACE THIS EXISTING WATER SERVICE WITH 6" D.I. PIPE FOR SPRINKLER PROTECTION:

1. REPLACE EXISTING BIT. PAVEMENT & CURBING.
2. SEE PAVEMENT REPAIR DETAIL ON SHEET 7 (6 FOOT WIDE PAVEMENT CUT)
3. OBTAIN ROAD PERMIT FROM THE TOWN PRIOR TO DISTURBANCE.



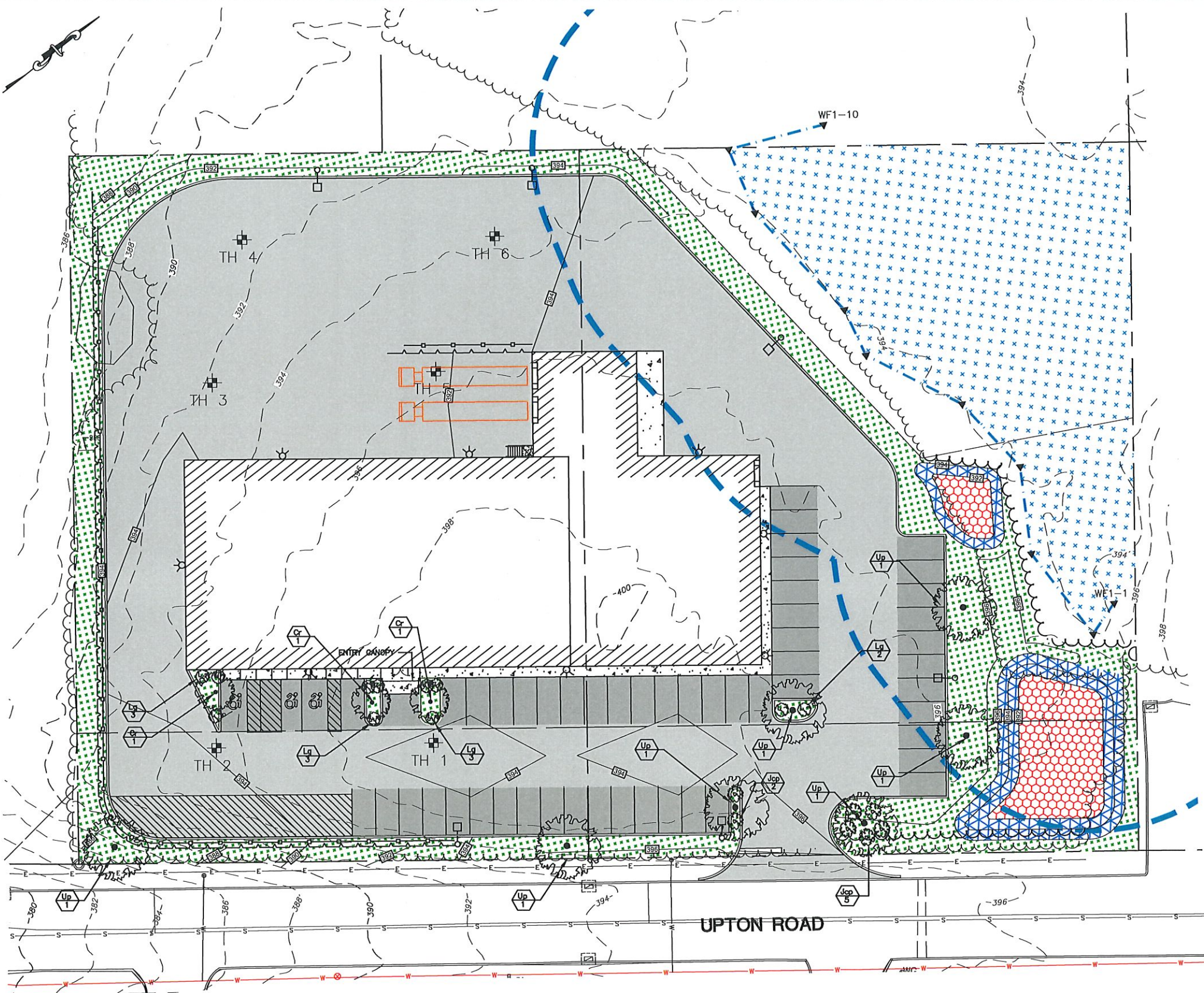
No.	DATE	REVISION
3	2/2/22	REVIEW COMMENTS
2	1/14/22	REVIEW COMMENTS
1	1/05/22	REVIEW COMMENTS

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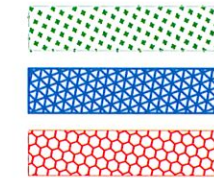
76 & 96 UPTON RD, COLCHESTER, CT		Project No. CLA-5982
<b>INCORD</b> <b>76 &amp; 96 UPTON RD</b>		Proj. Engineer E.M.B.
		Date: NOV. 2021
GRADING & UTILITIES PLAN		Sheet No. <b>4</b>





**LANDSCAPE SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>Trees:</b>				
Up	7	ULMUS PARVIFOLIA DYNASTI	DYNASTI LACEBARK ELM	2.5-3" CAL.
Cr	3	CORNUS RUTBAN	AURORA DOGWOOD	1.75-2" CAL.
Lg	11	ILEX GLABRA "COMPACTA"	COMPACT INKBERRY	3 GAL.
Jcp	9	JUNIPERUS CHINENSIS "PFTIZERIANA COMPACTA"	COMPACT PFTIZER JUNIPER	18-24" SPD.



SITE GRADING SEEDING

DISTURBED AREA MIX SEEDING

WETLAND MIX (NEW ENGLAND EROSION CONTROL/RESTORATION FOR MOIST SITES)

**SEED MIX FOR STORMWATER TREATMENT BASIN**

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN EXCELLENT SEED MIX FOR ECOLOGICALLY APPROPRIATE RESTORATIONS ON MOIST SITES THAT REQUIRE QUICK STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASIN THAT DO NOT NORMALLY HOLD STANDING WATER. SOME PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING.

SEEDING: THE MIX MAY BE APPLIED BY HYDROSEEDING, BY MECHANICAL SPREADER, BY HYDRO-SEEDING OR ON SMALL SITES IT CAN BE SPREAD BY HAND. WHEN APPLYING ON BARE SOIL, RAKE THE SOIL TO CREATE GROOVES, APPLY SEED, THEN LIGHTLY RAKE OVER. IN NEW ENGLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND LATE FALL SEEDING WILL BENEFIT WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.

APPLICATION RATE: 35 LBS/ACRE (1250 SQ. FT./LB.)

SPECIES \*: SWITCHGRASS (PANICUM VIRGATUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), FOX SEDGE (CAREX VULPINOIDEA), CREEPING BENTGRASS (AGROSTIS STOLONIFERA), SOFT RUSH (JUNCUS EFFUSUS), NEW ENGLAND ASTER (ASTER NOVAE-ANGIAE), GRASS-LEAVED GOLDENROD (EUTHAMIA GRAMINIFOLIA), GREEN BULRUSH (SCIRPUS ATROVIRENS), BONESET (EUPATORIUM PERFORIATUM), BLUE VERVAIN (VERBENA HASTATA) UPLAND BENTGRASS (AGROSTIS PERENNANS), BIG BLUESTEM, NIAGRA (ANDROPOGON GERARDII), SENSITIVE FERN (ONOCLEA SENSIBILIS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), WOOLGRASS (SCIRPUS CYPERINUS).

**INVASIVE SPECIES MANAGEMENT PLAN**

CLA INVESTIGATED THE SITE (76 & 96 UPTON RD. COLCHESTER) IN OCTOBER OF 2021 AND FOUND INVASIVE SPECIES INCLUDING COMMON REED (PHRAGMITES COMMUNIS), PURPLE LOOSESTRIFE (LYTHRUM SALICARIA), JAPANESE BARBERRY (BERBERIS THUMBERGII) AND MULTIFLORA ROSE (ROSA MULTIFLORA). THIS VEGETATION OCCURS IN AND AROUND THE WETLAND AND IS CONSIDERED INVASIVE.

THE OWNER WILL BE RESPONSIBLE FOR 3 CONSECUTIVE YEARS OF INVASIVE SPECIES REMOVAL AND CONTROL AFTER THE INITIATION OF SITE CONSTRUCTION.

THE TOWN OF COLCHESTER WETLAND AGENT WILL BE NOTIFIED 48 HOURS IN ADVANCE OF ANY INVASIVE SPECIES MANAGEMENT WORK.

THE INVASIVE SPECIES REMOVAL AND CONTROL WILL BE OVERSEEN BY A WETLAND SCIENTIST OR SOIL SCIENTIST APPROVED BY THE COLCHESTER INLAND WETLANDS COMMISSION.

THE WETLAND/SOIL SCIENTIST WILL PROVIDE ANNUAL REPORTS TO THE COMMISSION DOCUMENTING THE DATE OF WORK AND LOCATION/AMOUNT OF VEGETATION REMOVED.

THE INVASIVE SPECIES REMOVAL AND CONTROL WILL BE PERFORMED BY A LANDSCAPE CONTRACTOR WITH EXPERIENCE IN THE FIELD AND APPROVED BY THE PROJECT WETLAND/SOIL SCIENTIST.

INVASIVE VEGETATION REMOVAL WILL BE CONDUCTED BY HAND WITHIN THE WETLAND. INVASIVE VEGETATION REMOVAL MAY BE CONDUCTED BY MECHANICAL MEANS IN THE UPLAND REVIEW ZONE IF APPROVED BY THE PROJECT WETLAND/SOIL SCIENTIST.

INVASIVE SPECIES WILL BE PROPERLY DISPOSED OF OFFSITE.

SOIL DISTURBED BY INVASIVE SPECIES MANAGEMENT WILL BE SEEDED WITH NEW ENGLAND WETLANDS PLANTS RESTORATION SEED MIX FOR MOIST SITES AND DETENTION BASINS.

ANY USE OF PESTICIDE WILL BE DONE BY A LICENSED APPLICATOR WITH THE PROPER CTDEEP PERMITS.

00059005962 Gagnon - Upton Road Drawings\76 Upton Rd Plans & REV.dwg, 2/8/2022 11:19:06 AM, DWG To PDF.pc3

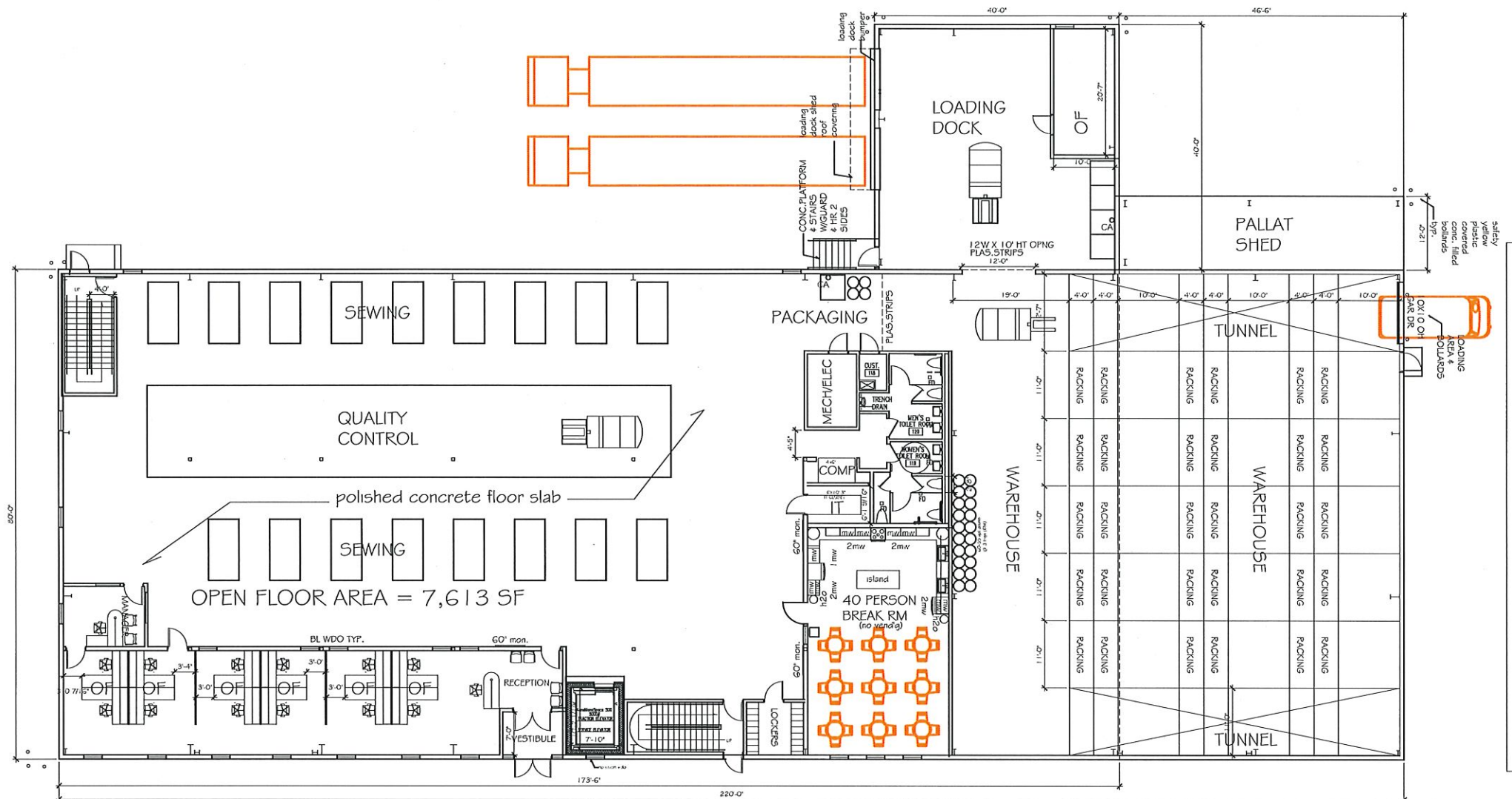


		<b>CLA Engineers, Inc.</b> Civil • Structural • Surveying	
		317 Main Street Norwich, CT 06380 (860) 888-1888 Fax (860) 888-9185	
2	2/02/22	REVIEW COMMENTS	Project No. CLA-5962
1	1/05/22	REVIEW COMMENTS	
No.	DATE	REVISION	Project Engineer E.M.B.
76 & 96 UPTON RD, COLCHESTER, CT			Date: NOV. 2021
INCORD 76 & 96 UPTON RD			Sheet No. <b>5</b>
LANDSCAPE PLAN			

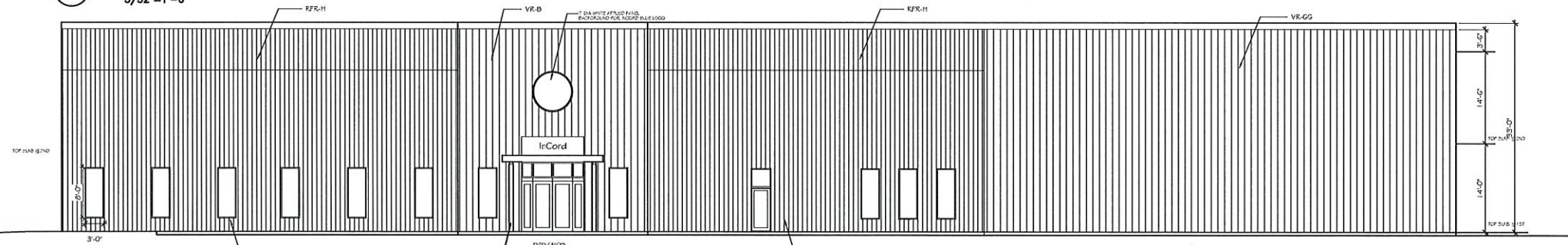


GENERAL CONTRACTOR:  
Pat Munger Construction Inc.  
750 East Main Street  
Branford, CT 06405  
203-483-3645  
info@mungerconstruction.com

PROPOSED NEW BUILDING FOR  
**InCord**  
76-96 UPTON ROAD  
COLCHESTER, CONNECTICUT 06415



**FIRST FLOOR PLAN**  
3/32"=1'-0"



**EAST ELEVATION**  
3/32"=1'-0"

EXTERIOR FINISHED LEGEND

VP-1018 8' WALL PANEL	R-1018A GRN COLOR
VP-1018 8' WALL PANEL	R-1018B GRN COLOR
VP-1018 8' WALL PANEL	R-1018C GRN COLOR
VP-1018 8' WALL PANEL	R-1018D GRN COLOR
VP-1018 8' WALL PANEL	R-1018E GRN COLOR
VP-1018 8' WALL PANEL	R-1018F GRN COLOR
VP-1018 8' WALL PANEL	R-1018G GRN COLOR
VP-1018 8' WALL PANEL	R-1018H GRN COLOR
VP-1018 8' WALL PANEL	R-1018I GRN COLOR
VP-1018 8' WALL PANEL	R-1018J GRN COLOR
VP-1018 8' WALL PANEL	R-1018K GRN COLOR
VP-1018 8' WALL PANEL	R-1018L GRN COLOR
VP-1018 8' WALL PANEL	R-1018M GRN COLOR
VP-1018 8' WALL PANEL	R-1018N GRN COLOR
VP-1018 8' WALL PANEL	R-1018O GRN COLOR
VP-1018 8' WALL PANEL	R-1018P GRN COLOR
VP-1018 8' WALL PANEL	R-1018Q GRN COLOR
VP-1018 8' WALL PANEL	R-1018R GRN COLOR
VP-1018 8' WALL PANEL	R-1018S GRN COLOR
VP-1018 8' WALL PANEL	R-1018T GRN COLOR
VP-1018 8' WALL PANEL	R-1018U GRN COLOR
VP-1018 8' WALL PANEL	R-1018V GRN COLOR
VP-1018 8' WALL PANEL	R-1018W GRN COLOR
VP-1018 8' WALL PANEL	R-1018X GRN COLOR
VP-1018 8' WALL PANEL	R-1018Y GRN COLOR
VP-1018 8' WALL PANEL	R-1018Z GRN COLOR

**INCORD**  
BUILDING CODE INFORMATION

THE BUILDING IS DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE AND THE 2021 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE. THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE AREA EDITION OF THE LIFE SAFETY CODE AND THE IBC OF THE MECHANICAL.

**PERMITS REQUIRED:**  
1. MECHANICAL PERMIT  
2. ELECTRICAL PERMIT  
3. PLUMBING PERMIT  
4. FIRE ALARMS PERMIT  
5. ELEVATOR PERMIT  
6. SIGN PERMIT

**PERMITS NOT REQUIRED:**  
1. CONCRETE PERMIT  
2. FOUNDATION PERMIT  
3. STRUCTURAL PERMIT  
4. EXTERIOR FINISHES PERMIT  
5. INTERIOR FINISHES PERMIT  
6. MECHANICAL PERMIT  
7. ELECTRICAL PERMIT  
8. PLUMBING PERMIT  
9. FIRE ALARMS PERMIT  
10. ELEVATOR PERMIT  
11. SIGN PERMIT

**INSULATION & PENETRATION REQUIREMENTS BY COMPONENT**

COMPONENT	MINIMUM R-VALUE
ROOF	R-30
WALLS	R-15
FLOORS	R-10
DOORS	R-5
WINDOWS	R-2

PROJ #: 21-0545  
SCALE: 3/32" = 1'-0"  
DRAWN BY: RK / DS  
STAGE: PRELIMINARY  
DATE: 2/3/2022

PROFESSIONAL ENGINEER:  
  
REVISIONS:

PROPOSED  
FIRST FLOOR PLAN  
AND ELEVATION  
**A1**